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**CHAPTER 4**

**AREA PLANS**

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## Area Plans

### Planning Area Districts

Within the Chandler Redevelopment Area, there are five planning districts covering the total area of 1.75 square miles. These districts are based upon identifiable characteristics such as predominate land use, economic function, geographical location, and other aspects.

#### *District 1 — Downtown*

The original town square, central business district, the government complex, and the San Marcos Resort falls within the boundaries of the *Downtown District (1)*. This district also includes the Center for the Performing Arts.

#### *District 2 — North Arizona Avenue*

The *North Arizona Avenue District (2)* includes the commercial strip and adjoining residential areas situated north of Chandler Boulevard.

#### *District 3 — Southeast*

The *Southeast District (3)* encompasses the area situated west of McQueen Road, south of Commonwealth Avenue.




#### *District 4 — Eastside*

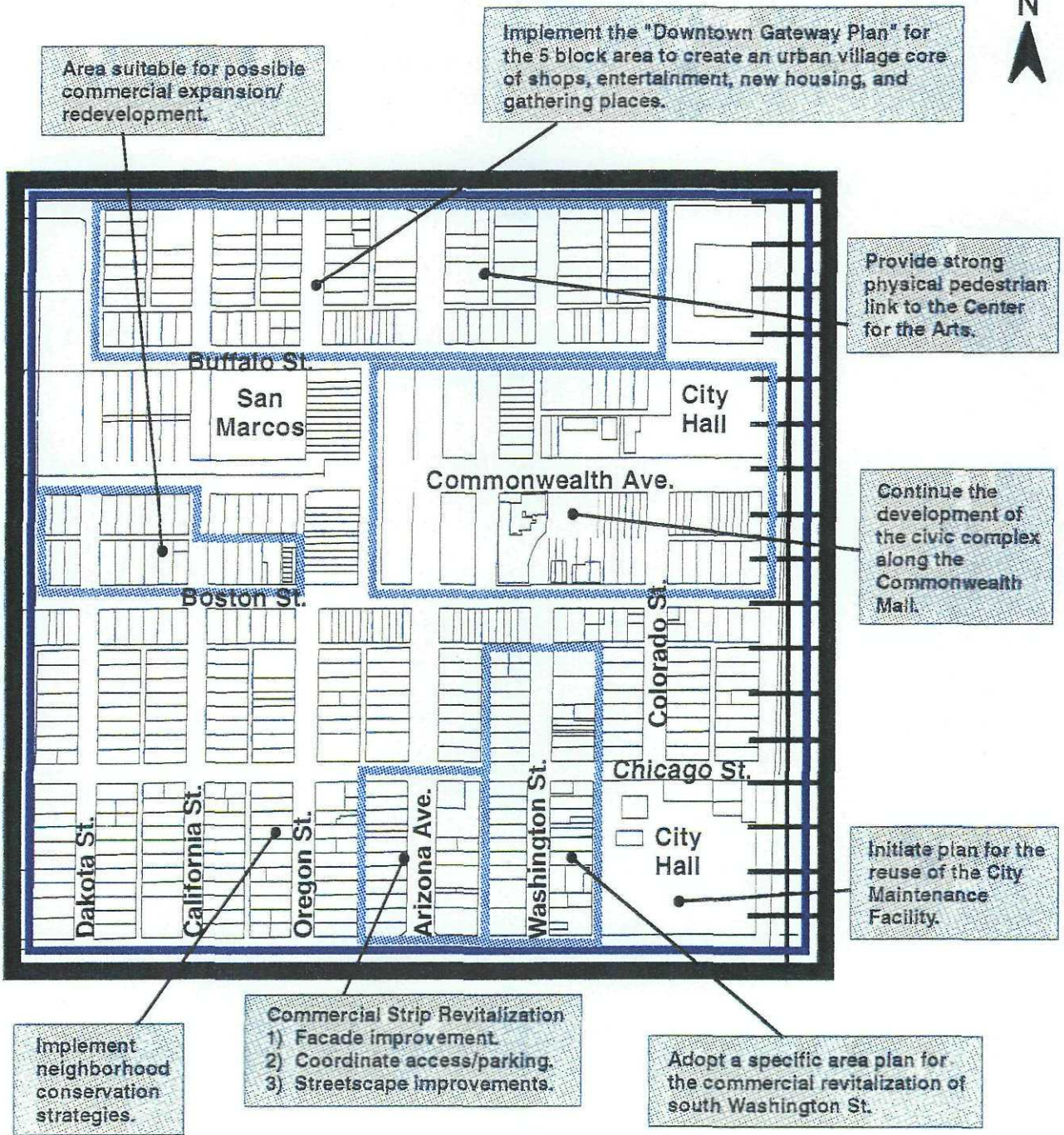
The *Eastside District (4)* includes the East Chandler Boulevard commercial corridor and adjoining residential areas.

#### *District 5 — Southside Neighborhoods*

The fifth area, the *Southside Neighborhoods District (5)* includes the City's oldest neighborhoods south of the central business district, along both sides of Arizona Avenue. This is the most populated district, with approximately 5,000 people.

# DISTRICT 1 DOWNTOWN AREA STRATEGIES

	Redevelopment boundary
	Subdistrict boundary
	Railroad track



## **District 1: Downtown**

### ***Land Use and Zoning***

This district represents the civic and business core of the Redevelopment Area. Major uses/landmarks include the Commonwealth Civic Mall, Rocky Mountain Financial Center, San Marcos Hotel and Resort, A.J. Chandler Memorial Park, the main branch of the post office, and the original central business district. A new library is currently under construction at Delaware Street and Commonwealth Avenue. Commercial zoning is largely confined to the central business district. There are approximately 330,000 square feet of commercial space covering 53 acres in the central business district, and approximately 650,000 square feet within a one-mile radius. Downtown is also home to several “signature” events/festivals that have attracted large attendances and special activities during these events. Recently, the City approved an area plan for a five-block area bounded by Dakota Street, Buffalo St., Chandler Boulevard, and Delaware St. This plan will allow the development of a theme oriented, mixed use commercial project with shops, retail, restaurants, and a pedestrian mall.

### ***Opportunities***

There is a significant amount of daytime pedestrian activity in the commercial core due to the surrounding residential areas and large employers such as the Chandler municipal Complex, Rocky Mountain Financial Center, and the San Marcos Resort. The expansion of the government mall along Commonwealth Avenue, new destination points such as the library, new offices, transit facilities, or a major retailer will increase patronage from beyond the immediate area. Development of the downtown “Gateway” plan with associated restaurants, sidewalk cafes, and other entertainment attractions would increase use beyond normal working day hours. The important landmarks and assets in the central business district provide a strong base for continued revitalization.

*Note: Refer to the Action Plan section of this document for the complete description of the general goals and goal groups concerning the Downtown District. The following goals and action steps reiterate some of the primary land use strategies and recommendations for the central business district.*

### **Goals**

Develop Downtown Chandler as the City's cultural , civic, business, and activity center. To achieve this vision, downtown should be developed as a diverse, balanced community attracting people to live, work, play, and gather.

The downtown should include a viable mix of commercial retail, service, leisure/entertainment establishments and office/industrial employers to serve as an active destination point for residents, employees, and visitors.

### **Action Steps**

- 1) Promote the Downtown Gateway Plan to provide a range of high quality shops and services in a pedestrian oriented environment of high appeal and festivity.
- 2) Attract new commercial uses and employers by providing various financial and non financial incentives, density allowances, and project assistance.
- 3) Areas suited for new housing should be identified and preserved.
- 4) The City should encourage the location of other government branch offices to complement the civic presence along East Commonwealth Avenue.

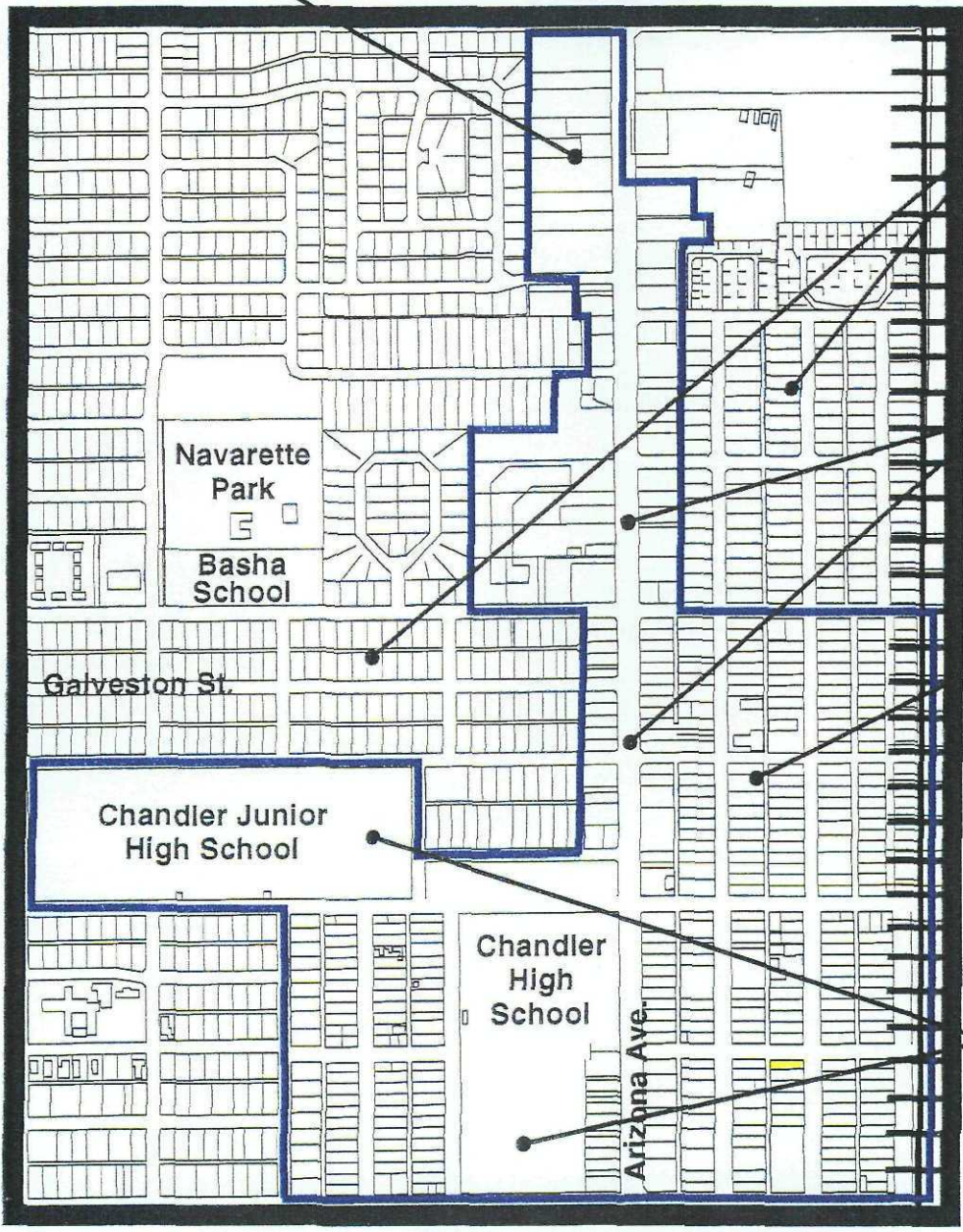
- 5) Develop a public relations and advertising campaign to improve the identity, public perception, and community image of the downtown.
- 6) Maintain the early twentieth century architectural influences in for construction and facade improvements of existing buildings.
- 7) Proactively administer and enforce property maintenance standards for deteriorating commercial and residential properties near the city center.
- 8) Provide strong pedestrian linkages connecting the Commonwealth Mall, San Marcos Resort, A.J. Chandler Memorial Park, and the Center for the Arts.
- 9) Explore the viability of expanding the number of specialty shops along Wall Street or consider expanding this "old town" concept to other areas along Arizona Avenue.
- 10) Initiate the preparation of an area plan for South Washington Street, between Dakota Street and Frye Road. The City should work with property owners to establish plans to rejuvenate the commercial potential of this area. One of the primary objectives of this plan would be to retain a mixed-use employment base in this area and achieve a better degree of land use compatibility with nearby neighborhoods.



# DISTRICT 2 N. ARIZONA AVE. STRATEGIES

— Redevelopment boundary  
+ + + Railroad track

- Commercial District Revitalization**
1. Encourage new businesses.
  2. Control access.
  3. Coordinate site planning along the strip.
  4. Encourage land assembly for larger, planned commercial areas.



Study areas for potential expansion of redevelopment area boundary.

Establish integrated streetscape treatments along Arizona Avenue.

Enforce neighborhood maintenance standards in residential areas. Continue single family infill rehabilitation.

Coordinate plans with the Chandler Unified School District.

## District 2: North Arizona Avenue

### *Land Use and Zoning*

This district north of the central business district includes the Arizona Avenue commercial corridor extending north to Ray Road. The predominate zoning allows for a range of commercial services and retail, although the strip has emerged as an independent commercial area with motel, automotive-related services, specialty retail, and quasi-industrial uses. The residential area included just east of this commercial strip is predominantly single family with modest, older homes in fair to good condition; however, approximately 40-50% of the homes in this district along Delaware and Colorado Streets need of minor or moderate rehabilitation. The residential blocks just west of the high school campus are in poor structural condition.

### *Opportunities*

The commercial area has stabilized with various non-central business district retail and services and appeals to its own market segment, such as the Plaza Del Arcos and DeLeon Plaza centers. Potential revitalization and upgrades can be made by applying coordinated access and site development standards that integrate the strip centers and freestanding commercial uses. Currently, there is a general lack of physical connection between commercial uses and parcels. The Center for the Arts and the high school campus provide a high level of activity in the district. In addition, the neighborhood east of Arizona Avenue offers stable, affordable housing near the city center in a relatively well-maintained environment. This area is important and its integrity should be preserved through continued administration of code enforcement.



### *Goals*

Strive to provide identity and cohesiveness to the unduly long and narrow commercial strip.

Preserve the integrity and stability of the area's neighborhoods.

### *Action Steps*

#### **Commercial District Revitalization**

1) Continue to develop and improve the Arizona Avenue commercial corridor. Specific strategies to achieve site integration include:

- Coordination of vehicular access points and shared parking.
- Parcel assembly to allow commercial masterplanning.
- Providing streetscape improvements and renovation of older buildings.
- Provide “gateway” treatments in conjunction with new development at the intersection of Arizona Avenue and Chandler Boulevard.

#### **Neighborhood Conservation**

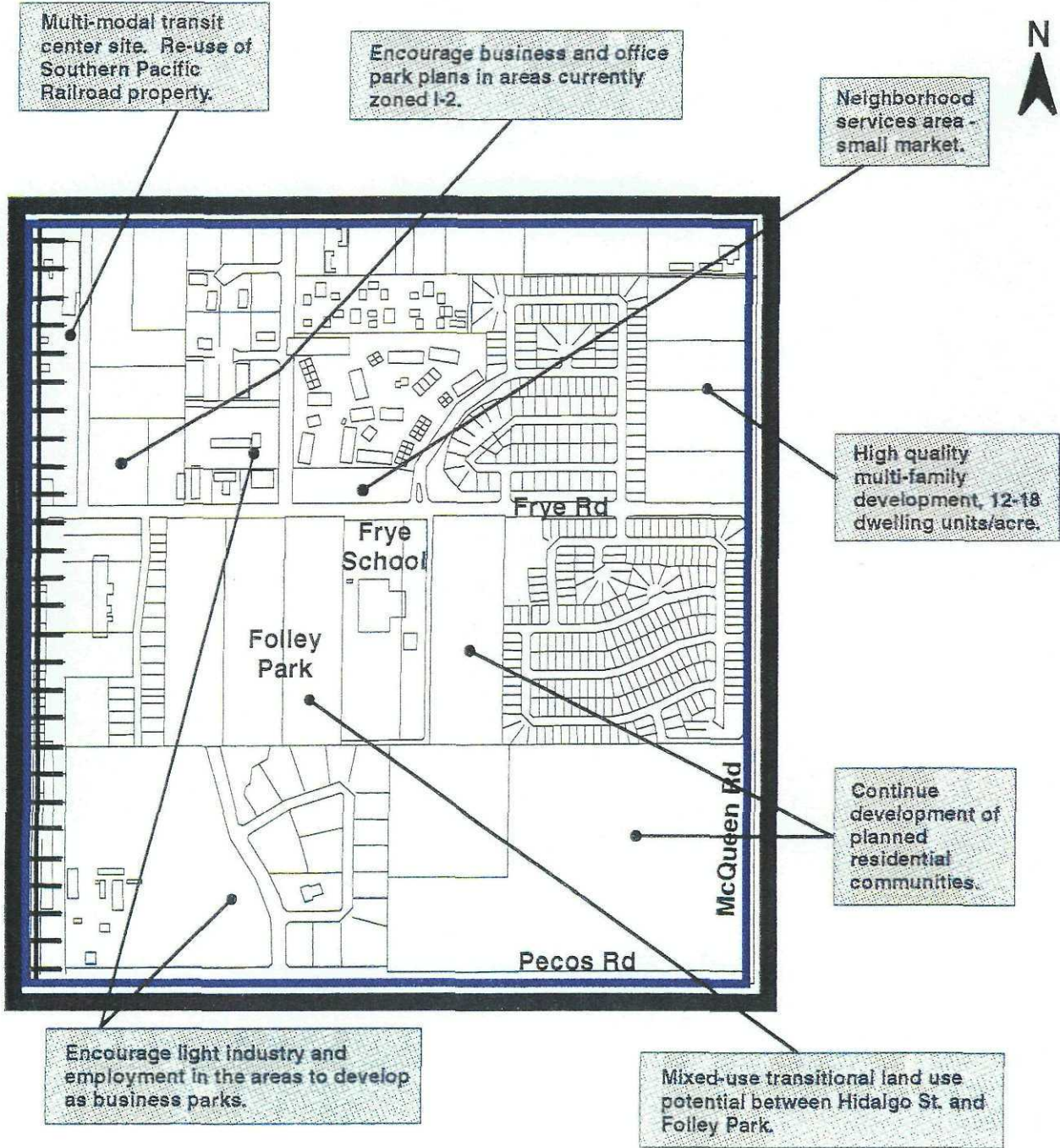
2) Preserve and rehabilitate existing neighborhoods to provide affordable, stable housing opportunities near the city center. Specific strategies include:

- Enforce property maintenance standards.
- Encourage single family rehabilitation and new infill construction.

- Discourage non-residential encroachments into residential areas; exceptions may include churches and schools where land use compatibility is achieved.

# DISTRICT 3 SOUTHEAST AREA STRATEGIES

— Redevelopment boundary  
+ + + Railroad track



## **District 3: Southeast**

### ***Land Use and Zoning***

This planning district features the consolidated Folley Park/Frye School area and contains a mix of new housing, a recently developed business park, and some older industrial parks/areas. Frye Road provides the primary access through this developing area. New single family homes continue to be built east of Frye Elementary School. Approximately 200 new homes have been built in the last several years, with another 400 due for construction over the next two years. The Bogle Business Park situated along the east side of the SPR tracks has been planned to contain a mix of industrial, office, and public service uses.

### ***Options***

The area “anchors” the southeast part of the Redevelopment Area with some new planned residential communities and compatible employment opportunities. Clearly, the primary direction for this district should be to continue the development of the residential areas and promote the development of new employers within the established industrial areas to achieve a jobs/housing balance near the downtown. New construction also controls the spread of blighting influences and unstable neighborhood cycles. Undeveloped parcels along the west side of McQueen Road provide opportunities for additional, new medium-high density housing for this area.

### ***Goal***

Develop the Southeast District as a mixed-use community of high quality, compatible industry and planned residential neighborhoods.



### *Action Steps*

- 1) Encourage the location of new employers in the industrial areas; encourage undeveloped areas with "hard" I-1 and I-2 zoning to develop as masterplanned business parks to attract clean, light industry to the downtown while discouraging heavy industrial uses related to fabrication, outdoor processing and storage, and other characteristics that could adversely impact nearby neighborhoods. Recommended uses include office/showroom, office/warehousing, research and development, and light product assembly and manufacturing.
- 2) Provide a transitional use such as medium density residential homes, churches, schools, or offices between Folley Park and the Hildago St. area. Redevelopment and relocation of the Hildago St. neighborhood should be a long-term objective, particularly with respect to potential industrial area expansions from the west.
- 3) Work with the Southern and Pacific Rail Co. to establish appropriate land uses on the railway properties south of Commonwealth Ave. Development of a multimodal mass transit facility to serve the city center represents a good possibility.
- 4) Continue the development of high quality planned residential communities north of Pecos Road and west of McQueen Road.
- 5) Continue to modernize and upgrade the Casa Bonitas and Casa Esperanza housing developments.
- 6) Provide a small, integrated neighborhood commercial center at the NE corner of Frye Road and Hamilton Street.

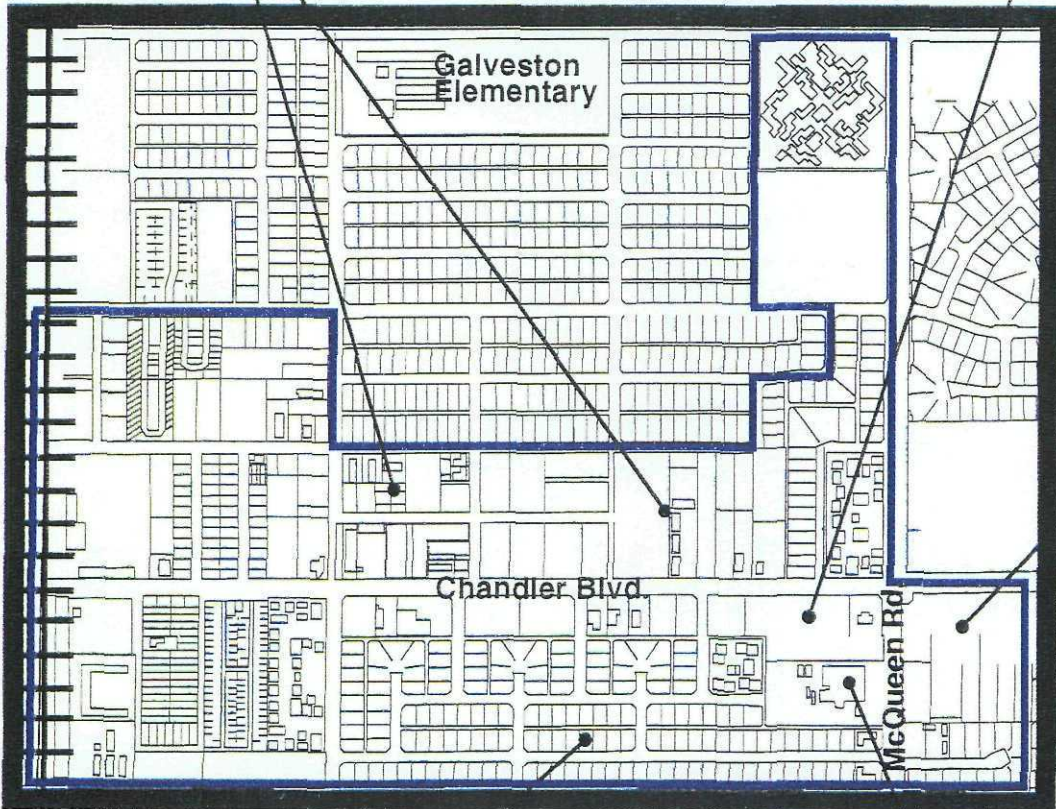
# DISTRICT 4 EASTSIDE NEIGHBORHOODS AREA STRATEGIES

— Redevelopment boundary  
+ Railroad track



**Medium Density Residential Revitalization**  
1) Encourage in-fill housing.  
2) Land assembly and master planning.  
3) Enforce neighborhood maintenance standards.

**Commercial Redevelopment**  
1) Encourage coordinated site access.  
2) Streetscape improvements.  
3) Land assembly.  
4) Discourage outdoor storage.



**New Commercial Complex**  
1) Land assembly.  
2) Master planning.

Single family rehabilitation.

Redevelop former hospital site with new housing.

## District 4: Eastside

### *Land Use and Zoning*

This district includes the East Chandler Boulevard commercial strip and adjoining residential areas. The commercial strip remains relatively underutilized with an abundance of vacant properties. Primary uses include automotive uses, several shops, small markets, mobile home parks, and various other uses. Residential conditions south of Chandler Boulevard (otherwise known as the Keyhole Neighborhood) are relatively stable, primarily due to the expenditure of Community Development Block Grant Funds to finance infrastructure improvements and residential rehabilitation. Residential conditions north of Chandler Boulevard are poor to very poor, with the majority of structures in need of substantial rehabilitation. Currently, a new subdivision is being built at the northwest corner of Erie Street and McQueen Road. Other areas poised for new housing include the former hospital site, and the Trails End Manor subdivision located on the opposite side of McQueen Road.

### *Options*

This entire area is experiencing blighting influences and signs of cyclical deterioration. New development will contribute to the stability of this district. The "Keyhole" neighborhood represents a good example of successful neighborhood conservation resulting from focused intervention of funds and planning involvement. Areas suited for commercial and residential infill are relatively available and should be preserved for the best possible developments. As the City's primary major east-west boulevard and entryway into the downtown, Chandler Boulevard represents a key opportunity for coordinated revitalization. Demolition of the old hospital structure to make way for new housing would be a major boost for this district.

***Goal***

Strengthen this district on the east side of the Redevelopment Area by revitalizing the residential neighborhoods and commercial corridor along East Chandler Boulevard.

***Action Steps***

- 1) Encourage land assemblages and commercial masterplanning along Chandler Blvd. to provide overall site integration, shared access, common streetscape themes, and upgraded architectural appearances.
- 2) Avoid a proliferation of quasi-industrial and automotive uses that utilize outdoor storage of vehicles, heavy equipment, or building materials.
- 3) Identify key potential sites, such as the old hospital, for new housing opportunities in this district - continue to encourage single family and residential duplex homes on vacant lots.
- 4) Continue to provide housing and neighborhood assistance programs to maintain safe, stable neighborhoods that offer affordable housing. Additionally, continue to actively enforce neighborhood maintenance standards.
- 5) Work with property owners to upgrade the conditions of the district's mobile home and recreational vehicle parks; expansions that require rezoning action could open this opportunity.
- 6) Assemble properties at the southeast corner of Chandler Boulevard and McQueen Road for a future neighborhood shopping center or larger planned commercial development.



## Area Plans

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- 7) Focus on providing new, stable low and medium density housing on parcels located in the areas along East Detroit Street.
- 8) Continue to upgrade and modernize Casa Del Sol and Kingston Arms housing developments.
- 9) On suitable parcels within neighborhoods, promote churches, schools, and similar uses that symbolize permanence and stability, provided that land use compatibility can be achieved.

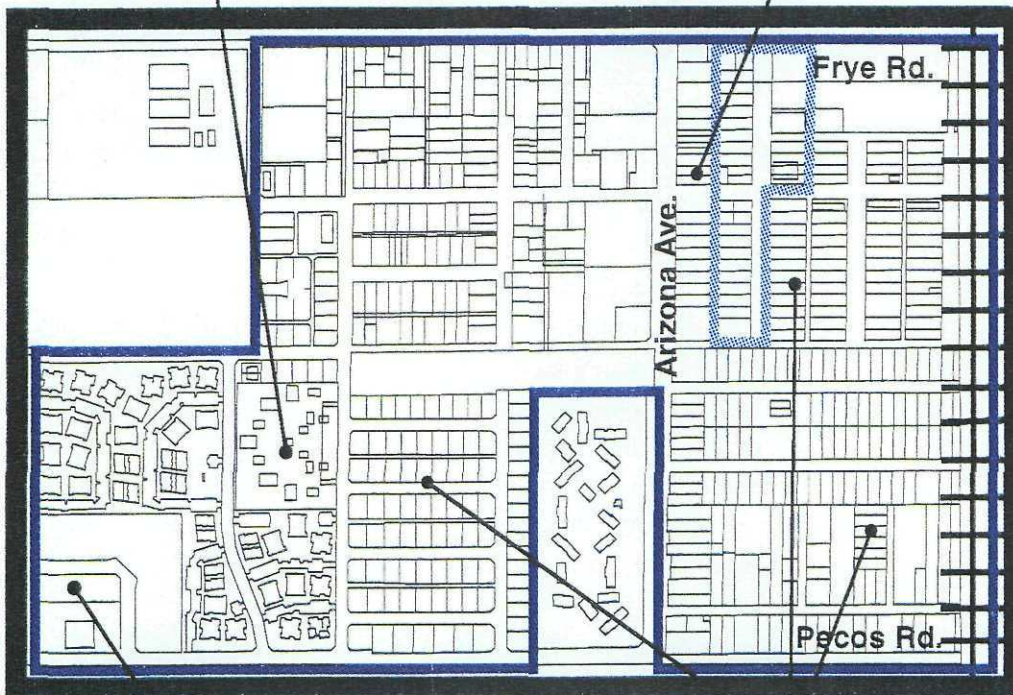
# DISTRICT 5 SOUTHSIDE NEIGHBORHOOD STRATEGIES

— Redevelopment boundary  
- - - Subdistrict boundary  
+ + + Railroad track



Upgrade and modernize Casa De Rosas housing.

**Commercial Strip Revitalization**  
1) Coordinate site planning.  
2) Improve streetscape appearance.  
3) Encourage new infill circulation.  
4) Neighborhood services core at Frye Rd. and Arizona Ave.



Transitional use - Neighborhood services area.

**Neighborhood Conservation Strategies**  
1) Continue substantial residential rehabilitation.  
2) Encourage in-fill residential development.  
3) Consolidate or assemble residential parcels.  
4) Proactively enforce code compliance.

## **District 5: Southside Neighborhoods**

### ***Land Use and Zoning***

This planning district contains the oldest housing stock in Chandler. Platting occurred before the existence of subdivision regulation, resulting in fragmented parcels, deficient lots, and several areas where alleys provide the only access. Although there are several newer subdivisions and apartment complexes, most structures are in serious need for moderate to substantial rehabilitation. Almost half of the land in this area is vacant. The City of Chandler recently completed some much needed demolitions, and has acquired twenty-five vacant lots to provide new, affordable homes to qualified families. Commercial buildings/properties along Arizona Avenue are in general need of rehabilitation and site improvements.

### ***Options***

The high number of undeveloped parcels provides numerous opportunities for new residential and commercial infill. The City's recent program to build twenty-five new units should help stabilize the area and encourage private sector involvement. The Redevelopment Area Plan land use recommendation for the neighborhood areas is for medium density to encourage new single family infill, duplexes, and townhomes in a mixed residential environment. This district possesses a strong cultural heritage and several active groups involved in neighborhood issues. The City should take advantage of these interests to help organize neighborhood improvement efforts and improve communication.

*Goal*

To return these neighborhoods to an acceptable level of residential environment, safety, and services to this area of 5,000 people.

*Action Steps*

**Neighborhood Conservation**

1) Focus on providing a mixed-residential environment, employing strategies promoting substantial rehabilitation of existing homes along with construction of new units on vacant lots. Specific strategies should include:

- Continue to target this district for CDBG allocations for rehabilitation, facade improvements, etc.
- Provide City assistance to nonprofit groups that provide affordable housing or programs aimed to assist homeowners with upkeep and maintenance.
- Enforce property maintenance standards and promote the Pride in Chandler program.
- Continue to target substandard /abandoned structures for demolition.
- Encourage land assembly to facilitate new medium density housing.
- Continue to upgrade and modernize the Casa De Rosas housing development.
- Explore the availability of funding sources for the purpose of preserving or upgrading neighborhood churches to enhance neighborhood revitalization.



**Other Planning Recommendations**

- Promote new neighborhood services along Arizona Avenue, with a potential commercial node at Frye Road.
- Promote churches, schools, daycare, special needs housing and other social service uses in residential areas provided that land use compatibility can be achieved.
- Redevelop the Chandler Industrial Park at Pecos Road and Hartford street for a more transitional use such as a church, office complex, daycare, school, or like use.
- Periodically conduct regular community meetings at different locations in the south neighborhoods to allow residents an opportunity to discuss various issues with city officials. A South Chandler neighborhood task force should be organized to help facilitate communication and solutions.
- Develop a reuse plan for the “blue apartment” property on S. Oregon St., just north of Chicago St. Continue to explore the land use options with nearby neighbors and area residents. Neighborhood commercial services, food market, cultural center, youth training facility, or community center represent good possibilities.