

CHAPTER 2

PARKS & FACILITIES ASSESSMENTS



EVALUATION CRITERIA

The quality of each asset within the overall Department is an important factor when evaluating the current level of service provided. Parks that are not properly maintained, outdated, and/or do not provide a certain quality of experience to the user will not attract park visitors. By examining how each park compares to one another, department staff can evaluate current maintenance practices, prioritize park improvement projects, and identify gaps in coverage across the entire City system.



METHODOLOGY

For each asset, a grading standard has been assigned to the observed amenities within it. These scores are qualitative in nature and are determined based on the observations of the personnel conducting the field inventory. These categories were evaluated based on the individual asset's condition as opposed to the overall system during the inventory. If the condition of the existing amenity and/or facility was well below that of similar equipment in other parks, it was noted as such in the matrix. Number values then were used to provide a numerical score for the park based on the number of opportunities and quality of opportunities offered.

The quality of each asset was assessed as a part of the on-site review and inventory. The following factors were the primary categories reviewed during the inventory phase:

- ▲ Asset Age
- ▲ Asset Size
- ▲ Asset Condition
- ▲ Asset Connectivity (Vehicular, Non-Vehicular and Contextual)

The Following Scoring System Was Used

GRADING STANDARD F/PRIORITY 1 *Currently Critical*

Conditions in this category require immediate action by the end of the current fiscal year to:

- ▲ Correct a safety hazard
- ▲ Stop accelerated deterioration
- ▲ Return a facility/system to operational status

GRADING STANDARD D/PRIORITY 2 *Potentially Critical*

Conditions in this category, if not corrected expeditiously, will become critical soon. Situations within this category include:

- ▲ Correct a safety hazard
- ▲ Stop accelerated deterioration
- ▲ Return a facility/system to operational status

GRADING STANDARD C/PRIORITY 3 *Necessary, but Not Yet Critical*

Conditions in this category require appropriate attention to preclude predictable deterioration and associated damage or higher costs if deferred further.

GRADING STANDARD B/PRIORITY 4 *Recommended*

Conditions in this category include items that represent a sensible improvement to existing conditions, include finishes that have deteriorated and are required to maintain the required aesthetic standards. These are not required for the most basic functioning of the facility.

GRADING STANDARD A/PRIORITY 5 *Early in Lifecycle*

Conditions in this category function properly and are early enough in their lifecycle that improvements are not currently needed.

AMBERWOOD PARK



INFORMATION

Address:
2327 W CALLE DEL NORTE

Type:
NEIGHBORHOOD

Size:
16.47 TOTAL ACRES

Year Constructed:
1986

Planning Area:
NORTH

DESCRIPTION:

Amberwood Park is a 16-acre neighborhood park located adjacent to the Chandler Traditional Academy Goodman Campus. The park was constructed in 1986 and is located within the City's north planning area. The park serves the Silvergate and Mission Park Ranch subdivisions. Key park amenities include a shade ramada, playground, volleyball and basketball courts.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASKETBALL COURT (LIGHTED)	1	3	Surfacing in good condition; signs of wear and minor cracking
BENCH	6	3	Seating and paint in good condition; minor signs of rust at mounting plates
DOG BAG STATION	4	3	Showing signs of fading and use
DRINKING FOUNTAIN	1	3	Good condition; minor signs of rust and water damage
IRRIGATION SYSTEM (AC)	16.47	3	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	65	2	Light fixtures appear dated and showing signs of weathering
OPEN TURF AREA (AC)	9.6	2	Turf in average condition; low spots; regrading needed; some slopes and shaded areas lack quality turf growth
PLAYGROUND (SHADED)	1	3	Newer structures; shade small and not sufficient; minor low spots in surfacing
RAMADA	1	4	Good condition; little to no signs of fading or rust
SIGNAGE (PARK ENTRY)	2	3	Aging, faded, and paint refresh needed
SIGNAGE (REGULATORY)	5	3	Average condition; fading due to exposure
TRAIL - PAVED (MI)	0.54	3	Minor cracks and wear; damaged panels replaced
TRASH RECEPTACLE	18	3	Minor, non-structural damage through use
VOLLEYBALL COURT (SAND)	1	2	Poles and net aging; showing signs of rust/damage





Turf

The overall turf is in average condition. There are several worn areas throughout all of the basin areas including worn sideslopes. The condition of slopes is due to lack of irrigation maintenance not activity. The turf has silty, crusty film from incoming offsite drainage in the southern turf area. The ground appears to be very compacted. It is recommended that aeration and a soil agronomy test take place to evaluate the soil condition.



Sidewalk

The concrete sidewalks are in average condition. There are several panels that have been replaced and some additional cracked sidewalk panels with some visible vertical separation. There are several established trees close to the sidewalks which have caused uprooting and heaving of some panels. A concrete sidewalk relocation is also recommended to provide better separation from the tree root zones in some locations.

Basketball Court

The concrete post-tension court shows some signs of wear in the surfacing, but is in good condition overall. The existing court lighting is high-pressure sodium, LED fixture replacement is recommended.



Overall Drainage

The park has a large turf area that is divided into two turf depressed basins by a concrete sidewalk. The turf areas provide storm water storage for offsite drainage runoff from Bullmoose Drive and Knox Road. Offsite drainage is conveyed into the turf basin areas from the surface by scuppers with concrete scupper pans.

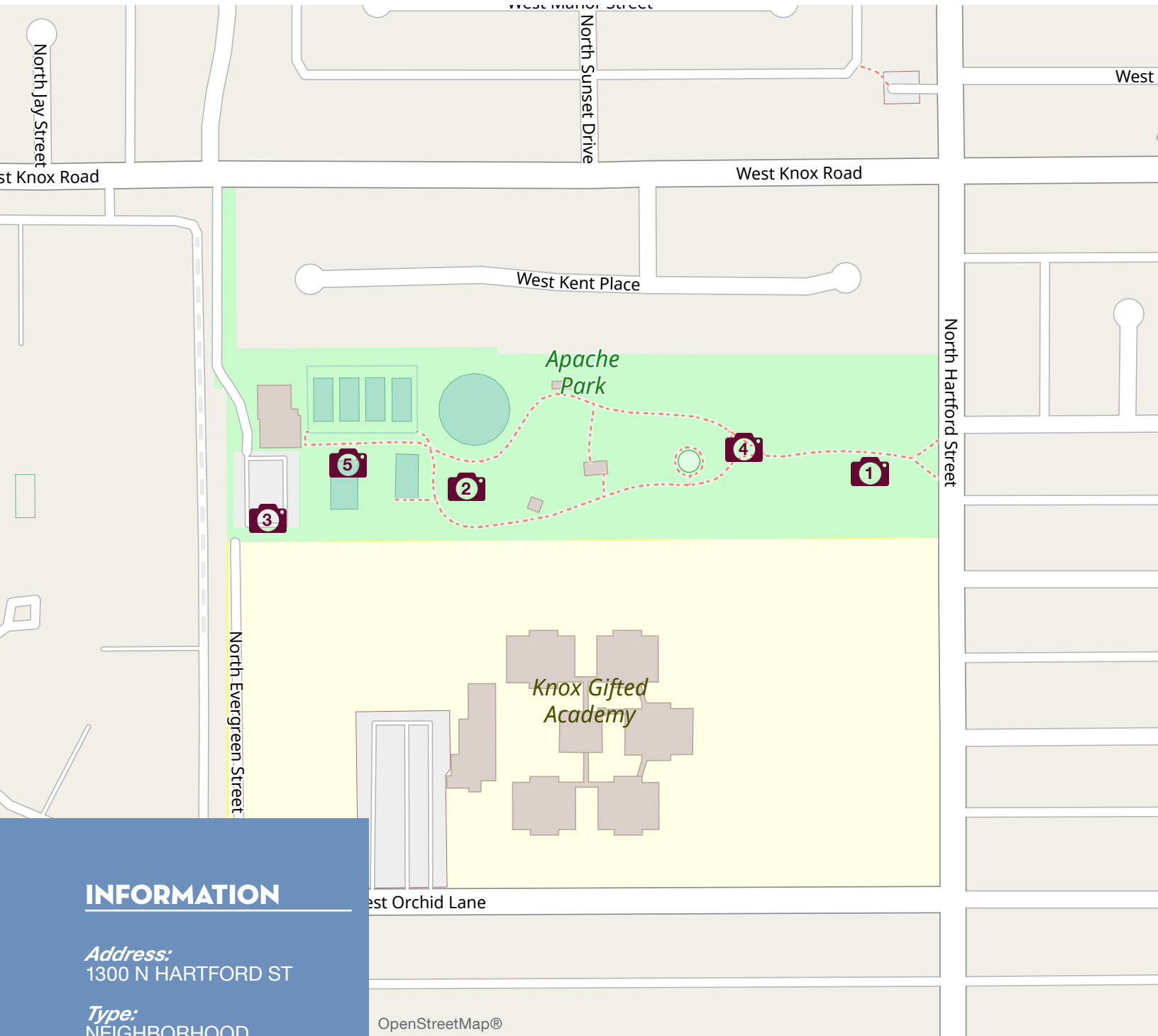


Playground

The playground area in average condition. The concrete header curbs and sidewalk areas are also in average condition along with the playground equipment.



APACHE PARK



INFORMATION

Address:
1300 N HARTFORD ST

Type:
NEIGHBORHOOD

Size:
9.97 TOTAL ACRES

Year Constructed:
1977

Planning Area:
NORTH

DESCRIPTION:

Apache Park is a nine-acre neighborhood park located next to Knox Gifted Academy. The park was constructed in 1977 and is located within the City's north planning area. The park serves the Knox Place, Thunderbird Estates, and Mirage Park subdivisions. Key park amenities include basketball, racquetball and volleyball courts, shade ramadas, playground, and a restroom building.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASKETBALL COURT (LIGHTED)	1	3	Average condition; dated light fixtures
BBQ PIT/ GRILL	2	3	Typical signs of use; consider deep clean
BENCH	9	3	Average condition
BIKE RACK/ LOOP	2	3	Average condition; showing signs of use
DOG BAG STATION	2	3	Average condition; some fading
DRINKING FOUNTAIN	1	3	Average condition; showing signs of use/sun damage
IRRIGATION SYSTEM (AC)	9.97	3	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	39	4	Mostly updated lighting; basketball lighting is dated
OPEN TURF AREA (AC)	4.4	3	Potential for turf reduction opportunities; larger open spaces are well maintained; some turf erosion near playground area
PARKING LOT (SPACES)	45	2	Moderate condition; heavy cracking; resurfacing needed; consider alternate drainage strategies
PICNIC TABLE	18	3	Average condition; showing signs of use
PLAYGROUND (SHADED)	1	4	ADA ramps; newer shade structure; additional wood chips would be beneficial
RACQUETBALL COURT (OUTDOOR)	2	3	Average exterior condition
RAMADA	2	3	Average condition; showing signs of use
RESTROOM BUILDING	1	2	Dated building; some cracking
SIGNAGE (PARK ENTRY)	3	3	Average condition
SIGNAGE (REGULATORY)	3	3	Average condition
TENNIS COURT (LIGHTED)	4	5	Good condition, Replace with post tension in future
TRAIL - PAVED (MI)	0.62	3	.32 mi loop; moderate amount of cracking; instances where mature trees are impacting concrete integrity
TRASH RECEPTACLE	23	3	Average condition; showing signs of use
VOLLEYBALL COURT (SAND)	2	4	Good condition



Southeast Turf Area

This area of turf utilizes flood irrigation for watering. The turf is worn on the sideslopes of the berms. The condition of slopes is due to lack of irrigation maintenance not activity. Additionally, the area has several established trees, which provide large amounts of shade. It is recommended that staff look at eliminating turf on severe perimeter sideslopes, regrading and placing decomposed granite in worn areas.



North West Turf Basin

The turf floor of the basin is in overall good condition. There are drywells with concrete pads per the current city detail along the floor of the basin. The turf has some wear on some of the sideslopes and the soil is relatively compacted throughout. Aeration and a soil agronomy test are recommended to evaluate soil conditions.

Parking Area

The asphalt concrete parking lot, shared with the water treatment plant, is in poor condition due to the 'alligator' cracking areas which have resulted in surface ponding. The asphalt concrete has exceed its lifecycle and is in need of replacement.



Sidewalk

The concrete sidewalk is in average condition. There are a few panels that show some vertical separation.

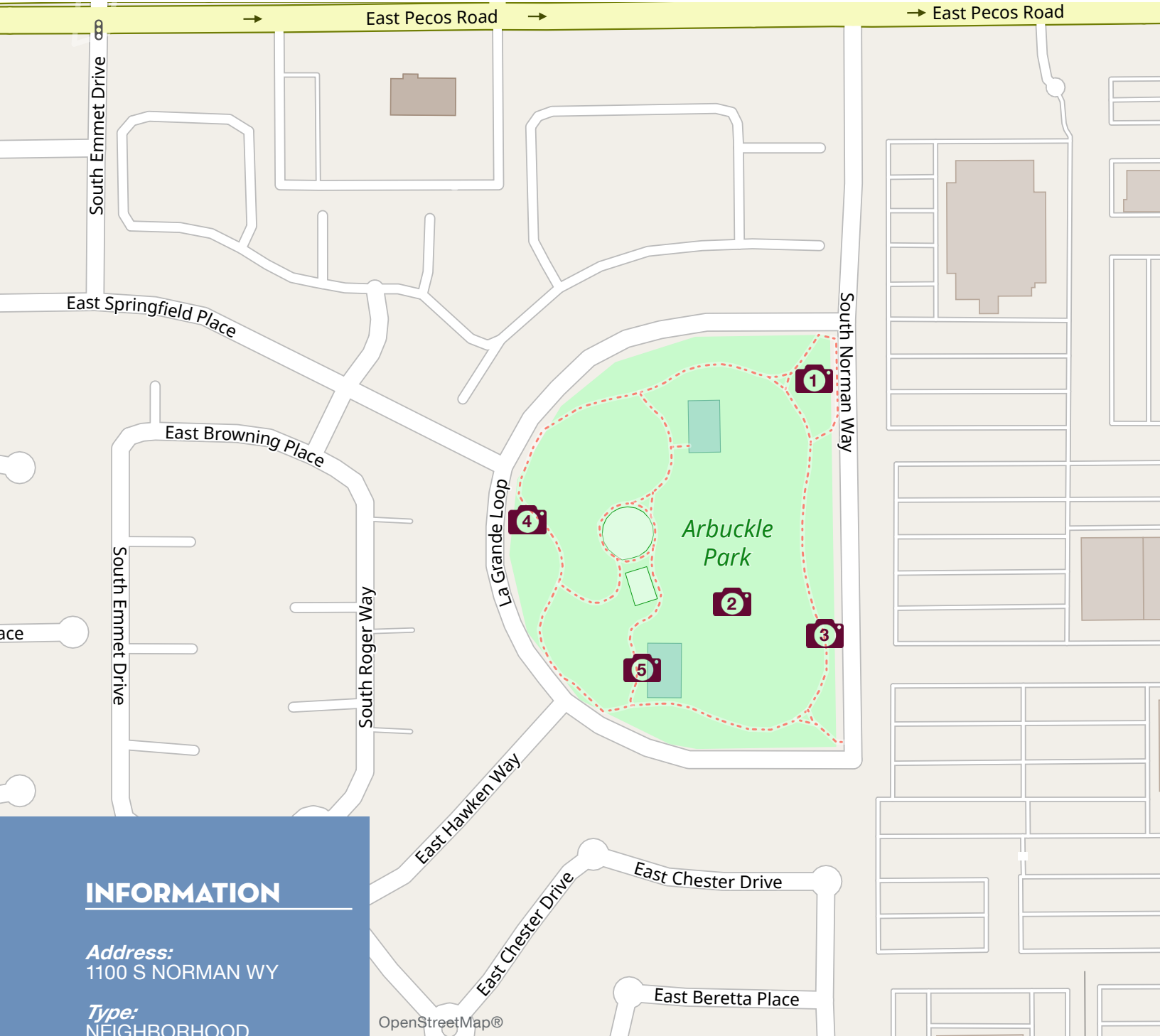


Basketball Court

The concrete post-tension court in good condition. The existing court lighting is high-pressure sodium, LED fixture replacement is recommended for court lighting.



ARBUCKLE PARK



INFORMATION

Address:
1100 S NORMAN WY

Type:
NEIGHBORHOOD

Size:
7.89 TOTAL ACRES

Year Constructed:
2007

Planning Area:
SOUTHEAST

DESCRIPTION:

Arbuckle Park is a seven-acre neighborhood park. The park was constructed in 2007 and is located within the City's southeast planning area. The park serves the Rancho Del Ray subdivision. Key park amenities include basketball and multi-use courts, shade ramadas, and a shaded playground.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASKETBALL COURT (LIGHTED)	1	3	Court surface appears to have many standing water stains, low spots, and minor cracking
BBQ PIT/ GRILL	2	3	Typical signs of use, consider deep clean
BENCH	14	3	Average to good condition; some benches showing signs of significant wear, fading, and minor rust
BIKE RACK/ LOOP	1	3	Average condition, minor rust/chipping from use
DOG BAG STATION	4	4	Good condition; minor signs of use
DRINKING FOUNTAIN	1	3	Typical signs of use; minor rust and water damage
IRRIGATION SYSTEM (AC)	7.89	3	Visual assessment only
KIOSK (INTERPRETIVE)	1	4	Good condition; minor signs of fading
LIGHTING (SITE, SPORTS, PED, ETC)	33	3	Concrete poles and high pressure sodium fixtures are outdated, but in good condition
OPEN TURF AREA (AC)	4.1	3	Turf mostly in good condition; lack of growth on some slopes and low spots; erosion
PICKLEBALL COURT	1	3	Average condition; minor signs of cracking; heavy use, LED fixtures
PICNIC TABLE	1	3	Average to good condition; showing signs of significant wear and minor rust/chipping
PLAYGROUND (SHADED)	2	4	Newer surfacing and shade fabric; minor low spots and raking needed
RAMADA	2	4	Good condition; minimal color fade; no signs of rust
SIGNAGE (PARK ENTRY)	2	3	Faded due to exposure; clean and repaint needed
SIGNAGE (REGULATORY)	2	3	Faded due to exposure
TRAIL - PAVED (MI)	0.59	3	Minor signs of cracking
TRASH RECEPTACLE	12	3	Showing significant signs of rust, wear, and age



Overall Drainage

The park turf basin provides retention for the surrounding offsite storm water runoff from Le Grand Loop. The park has several scuppers and storm drain pipe outlets around the perimeter of the park, which convey offsite street flows to the basin of this park.



Turf at Lower Basin

The turf floor of the basin is in overall good condition. There are some worn areas within the floor of the basin area. The turf areas are compacted throughout. Aeration and soil agronomy is recommended to evaluate soil condition.

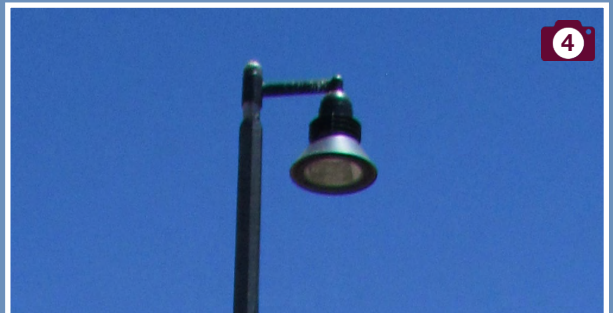
Sidewalk

The concrete sidewalk is in good condition. There are a few panels with cracking and vertical separation.



Site Lighting

The pathway lighting around the park is high-pressure sodium and fixtures appear to be in good condition.

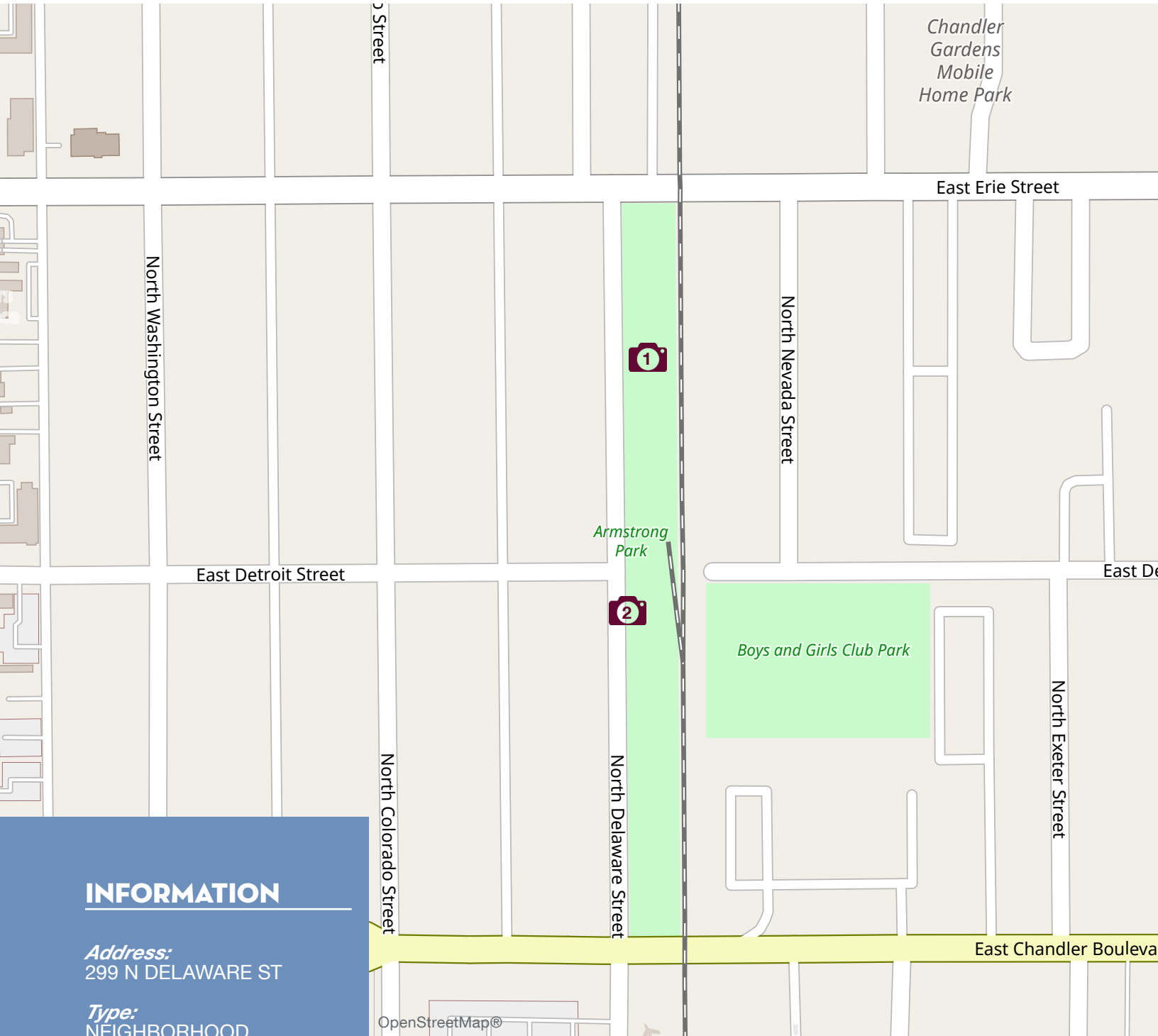


Basketball and Pickleball Courts

The concrete post-tension courts are in good condition. The lighting is high-pressure sodium, LED fixture replacement is recommended for court lighting. Adjust irrigation to minimize overspray.



ARMSTRONG PARK



INFORMATION

Address:
299 N DELAWARE ST

Type:
NEIGHBORHOOD

Size:
1.56 TOTAL ACRES

Year Constructed:
2009

Planning Area:
NORTH

DESCRIPTION:

Armstrong Park is a one-acre neighborhood park. The park was constructed in 2009 and is located within the City's north planning area. The park, functioning as a pocket park, lies adjacent to railroad tracks and the Boys and Girls Club Park. Key park amenities include open turf area, picnic tables, and a horseshoe pit.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BBQ PIT/ GRILL	1	3	Average condition; typical signs of use
BENCH	4	3	Moderate condition; all bench styles match; some tagging/graffiti
DOG BAG STATION	1	3	Some fading and typical signs of use
DRINKING FOUNTAIN	1	3	Some fading and typical signs of use
HORSESHOE PIT	1	3	Average condition
IRRIGATION SYSTEM (AC)	1.57	3	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	9	4	Updated; ornamental fixture
OPEN TURF AREA (AC)	1.5	2	Turf in moderate to poor condition; turf areas are largely being used for drainage retention and are not usable
PICNIC TABLE	2	2	Picnic tables in relatively poor condition
SIGNAGE (PARK ENTRY)	1	3	Signage is located in the center of the park at the Detroit Street intersection, but no signage exists at the ingress/egress points of this area
SIGNAGE (REGULATORY)	1	3	Some fading
TRAIL - PAVED (MI)	0.16	4	Sidewalk in good condition
TRASH RECEPTACLE	4	3	Average condition; typical signs of use and sun



North Turf Area

The turf is in good condition with some worn areas throughout. The ground appears to be compacted throughout. An aeration and soil agronomy test to evaluate soil condition and recommendations for amendments is suggested. Irrigation appears to be functioning improperly causing bare/brown spots and in many areas.

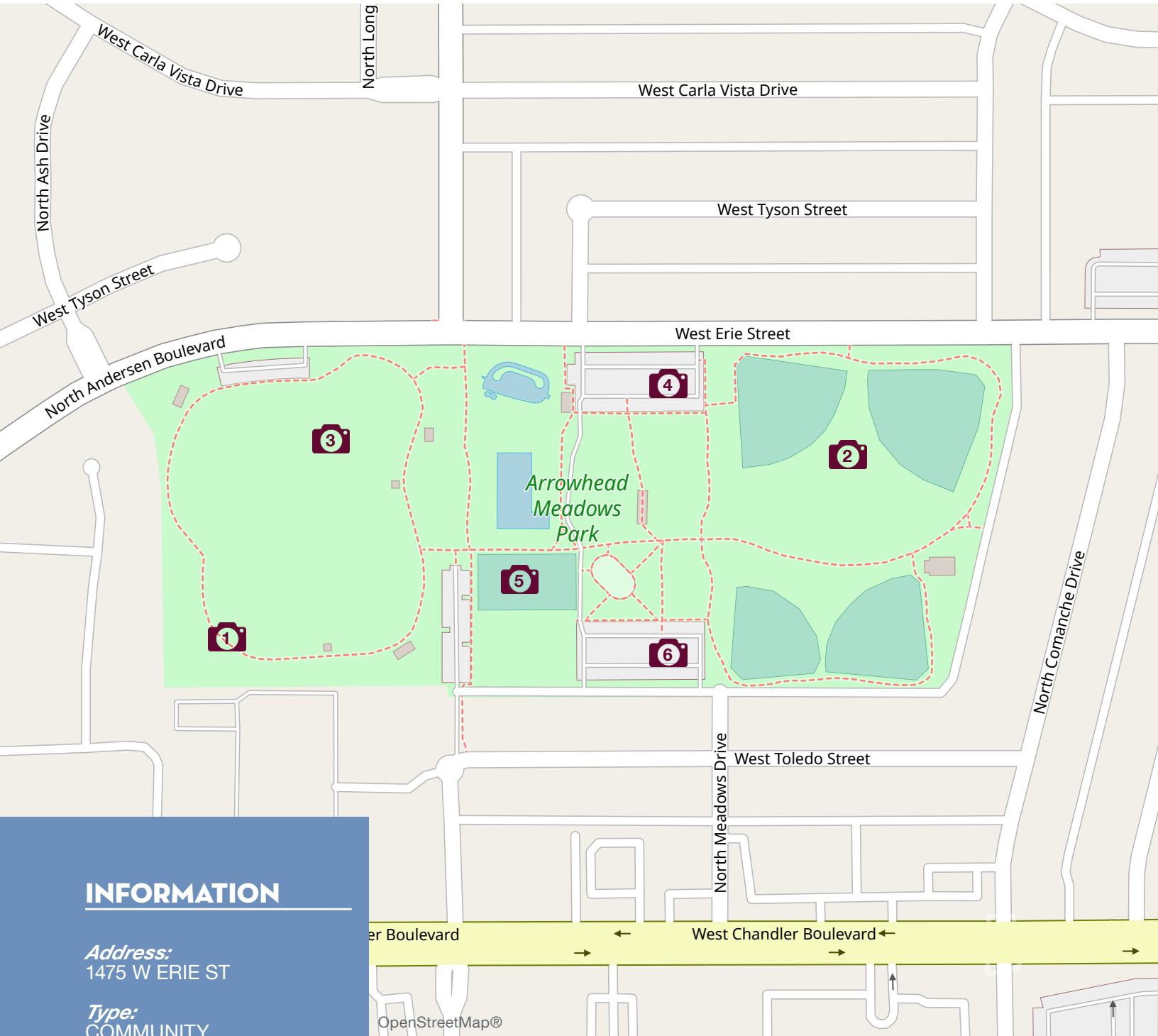


Sidewalk

Concrete sidewalk is in good condition.



ARROWHEAD MEADOWS PARK



INFORMATION

Address:
1475 W ERIE ST

Type:
COMMUNITY

Size:
30.83 TOTAL ACRES

Year Constructed:
1974

Planning Area:
NORTH

DESCRIPTION:

Arrowhead Meadows Park is a 30-acre community park. The park was constructed in 1974 and is located within the City's north planning area. Key park amenities include baseball fields, open turf areas, pickleball and tennis courts, playgrounds, shade ramadas, and a restroom building.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASEBALL FIELD (LIGHTED)	4	3	North fields are well-maintained; fencing at south fields is beginning to bow
BBQ PIT/ GRILL	10	3	Average condition; showing typical signs of use
BENCH	18	2	Vary in styles; concrete benches can pose a safety issue due to jagged edges/broken corners
BIKE RACK/ LOOP	2	3	Average condition; showing typical signs of use
BLEACHERS	8	3	Average condition
DOG BAG STATION	4	3	Some fading
DRINKING FOUNTAIN	6	3	Average condition; showing typical signs of use
FLAG POLE	1	3	Average condition
IRRIGATION SYSTEM (AC)	30.84	3	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	69	3	Dated site and sport court light fixtures
MAINTENANCE YARD/ BUILDING	1	3	Average; appears dated
OPEN TURF AREA (AC)	12.2	2	Turf is very patchy; erosion issues on slopes; likely irrigation issue
PARKING LOT (SPACES)	254	2	Resealing and ADA improvements needed; consider repaving south lot
PICKLEBALL COURT	6	3	Good condition; dated light fixtures
PICNIC TABLE	56	2	Picnic tables are generally in poor condition; consider replacement (2); group ramada picnic tables seem newer and are in good shape (4)
PLAYGROUND (SHADED)	2	3	Average condition
RAMADA	5	2	Ramadass with trellis roofs are generally in poor condition (2); group ramada with solid metal roof in good condition (4)
RESTROOM BUILDING	1	2	Dated; potential roof repairs; needs paint; exterior evaluated only
SIGNAGE (REGULATORY)	7	3	Average condition; some fading and rusting
TENNIS COURT (LIGHTED)	2	4	Good condition, dated light fixtures
TRAIL - PAVED (MI)	1.61	3	Relatively good condition
TRASH RECEPTACLE	78	3	Average condition; showing typical signs of use



Established Trees next to concrete sidewalks

There are several areas with established trees located near the sidewalk, which has caused some cracking/heaving. Although the City has replaced some of these areas, the trees will continue impact sidewalk and cause further uprooting in the future. Relocation of the concrete sidewalk is recommended to provide increased separation from the tree root zone.



Turf at Baseball Fields

The baseball field turf areas are in average condition. The fields utilize flood irrigation for watering. It is recommended that aerating and soil agronomy tests be undertaken to determine soil conditions and amendments.



Turf West Large Basin

The turf floor of the basin is in overall good condition. There are some worn areas at the offsite drainage collection points. The turf sideslopes have worn areas. The condition of slopes is due to lack of irrigation maintenance not activity. Aeration and soil agronomy tests are recommended to evaluate soil conditioning.

North Parking Area

The parking area is nearing its life expectancy and should be replaced. Due to the asphalt concrete's extensive 'alligator' cracking, crack seal and sealcoat is not recommended. Grading and drainage improvements should also be considered to ensure the pavement replacement does not fail. parking area.



Courts

The tennis and pickleball courts are in good condition and have high-pressure sodium lighting. A LED fixture replacement is recommended for court lighting.



Southeast Parking Area

This parking area is in poor condition with several ponding areas and extensive 'alligator' cracking. The asphalt concrete is nearing its life expectancy and should be replaced. Due to the number of cracks and overall condition of the parking lot, crack seal and seal coat will not extend its life. To ensure pavement replacement does not fail, grading and drainage should also be considered.

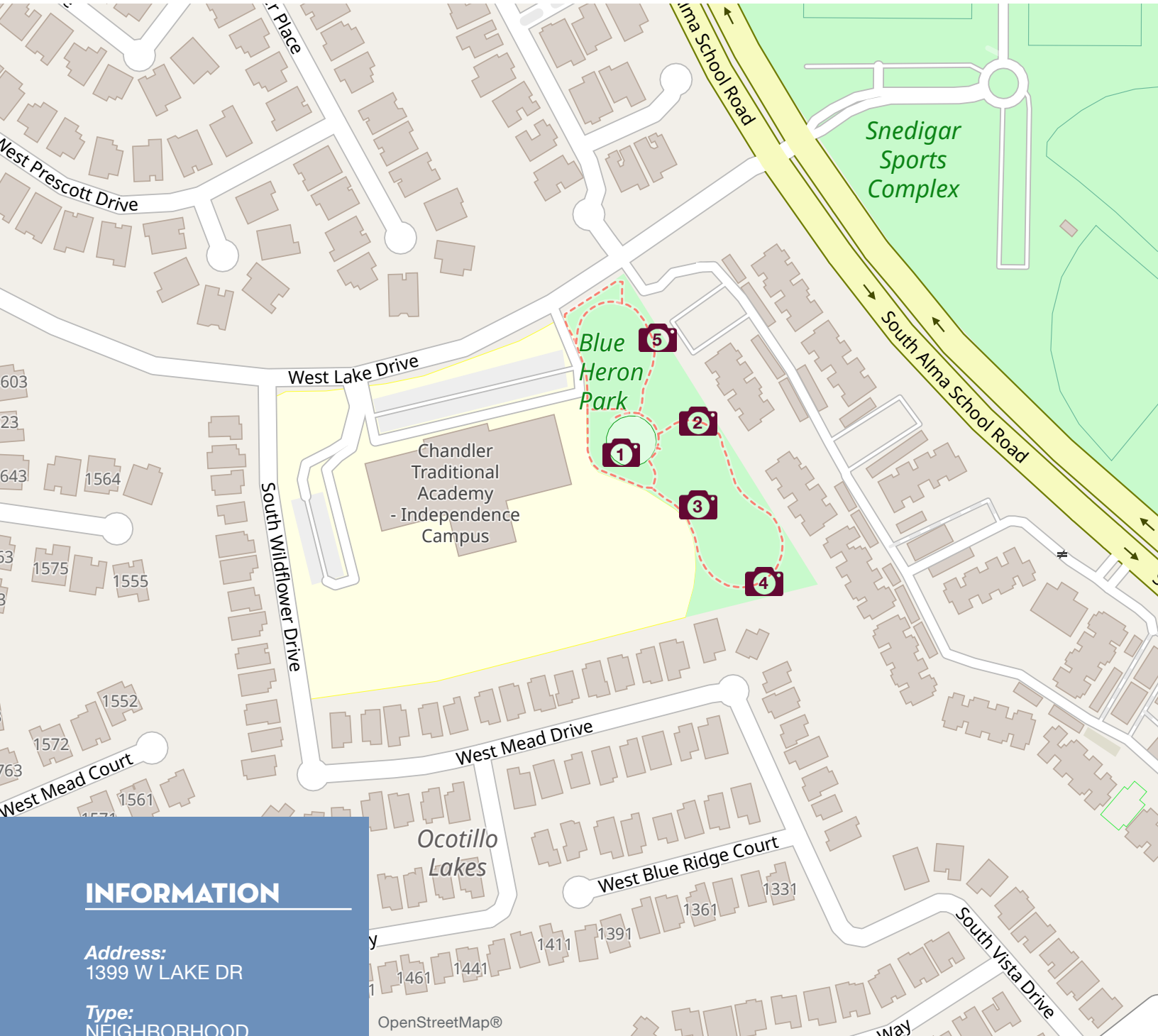


AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
DOG BAG STATION	4	3	Signs of wear due to age and use; fading due to exposure
IRRIGATION SYSTEM (AC)	2.51	3	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	27	3	Showing signs of aging, wear, and weathering
SIGNAGE (REGULATORY)	5	3	Faded due to exposure and age
TRAIL - PAVED (MI)	0.60	3	Generally in good condition given age; minor cracking
TRASH RECEPTACLE	4	3	Showing signs of aging, wear, and weathering



BLUE HERON PARK



INFORMATION

Address:
1399 W LAKE DR

Type:
NEIGHBORHOOD

Size:
2.85 TOTAL ACRES

Year Constructed:
2006

Planning Area:
SOUTHWEST

DESCRIPTION:

Blue Heron Park is a two-acre neighborhood park located adjacent to the Chandler Traditional Academy-Independence Campus. The park was constructed in 2006 and is located in the City's southwest planning area. The park serves the Ocotillo Lakes subdivision. Key park amenities include open turf areas, playgrounds, and shade ramadas.



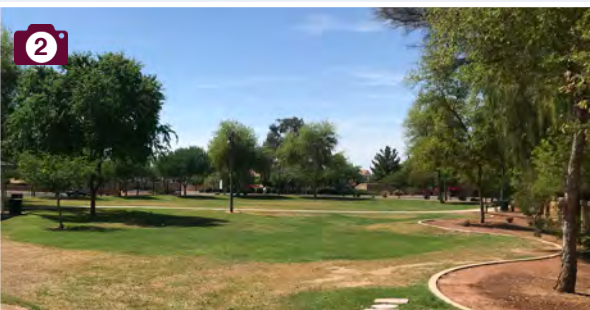
AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BBQ PIT/ GRILL	2	3	General signs of wear due to use; consider deep clean
BENCH	9	3	Wear and fading due to exposure; minor rust near mounting; some chipping of paint/coating
DRINKING FOUNTAIN	1	3	Significant wear due to use, no signs of rust
IRRIGATION SYSTEM (AC)	2.85	3	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	24	4	Newer high pressure sodium fixtures; poles in good condition
OPEN TURF AREA (AC)	1.8	2	Slope; drainage/ maintenance issues with turf quality
PICNIC TABLE	4	4	Good condition; no obvious signs of fading and minor wear
PLAYGROUND (SHADED)	2	4	Surfacing settling
RAMADA	2	3	No signs of rust; minor fading and wear
SIGNAGE (PARK ENTRY)	1	2	Colors fading, signs of weathering; repaint needed
SIGNAGE (REGULATORY)	2	3	Fading due to exposure and age
TRAIL - PAVED (MI)	0.38	3	Good general condition; minor wear and cracking
TRASH RECEPTACLE	11	3	Signs of fading and wear; little to no signs of rust or



Playground

The playground area is in good condition. The header curbs, sidewalk areas, and the play equipment are in good shape.



Overall Drainage

The park has three turf areas on the northwest, southeast, and the middle area around the playground. The park does not receive offsite storm water runoff from the adjacent street frontage and self retains onsite drainage to the surrounding turf areas.



Turf Areas

The turf areas are in good condition with some worn and compaction throughout. The worn condition of slopes is due to lack of irrigation maintenance not activity. An aeration and soil agronomy test to evaluate soil condition and recommendations for amendments is suggested.



Sidewalk and Concrete Plaza Areas

The concrete sidewalk is in good condition.

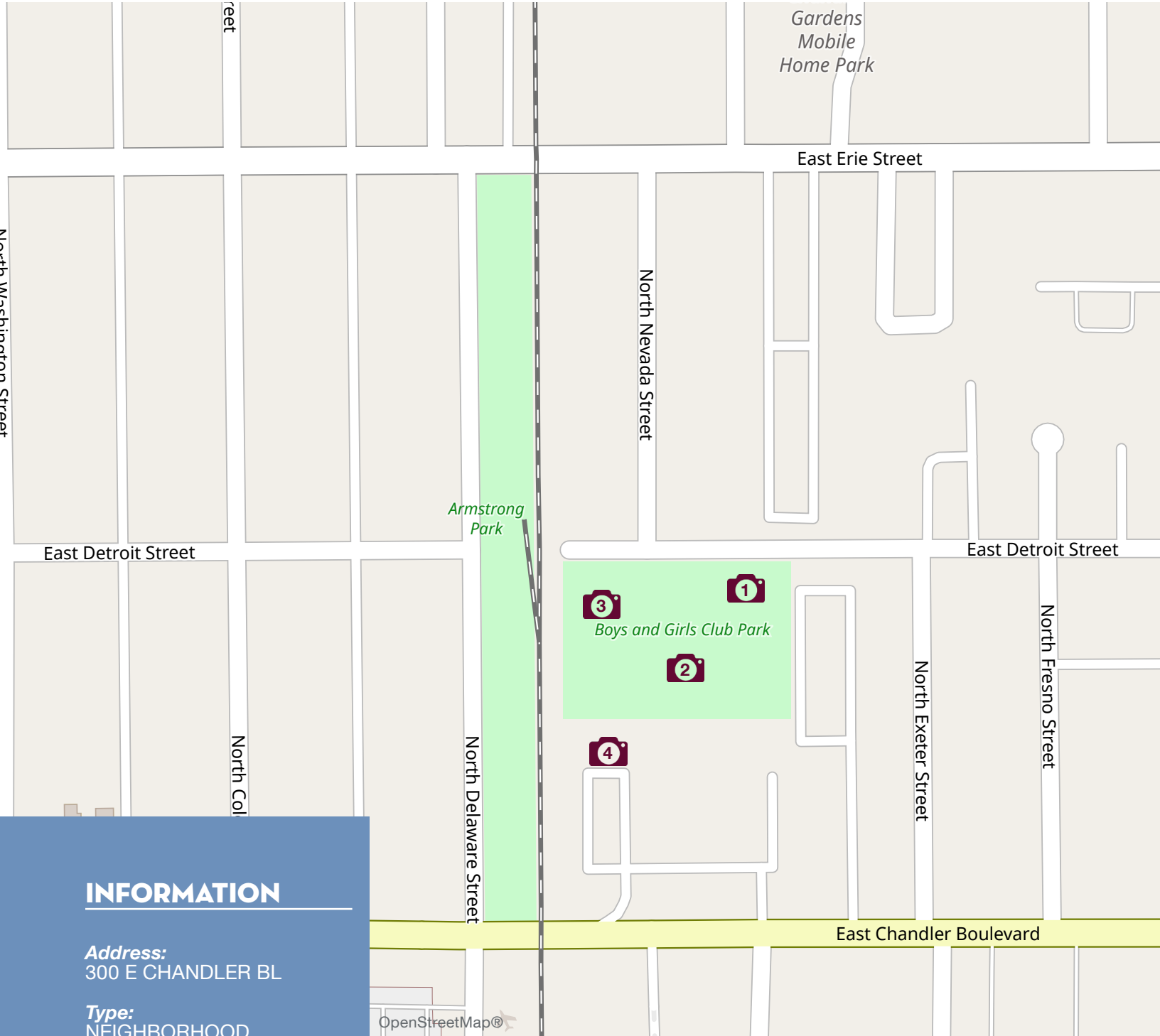


Site Lighting

The site lighting is high-pressure sodium fixtures. The fixtures and poles are in good condition. LED fixture replacement can be deferred until the current fixtures reach their lifecycle.



BOYS & GIRLS CLUB



INFORMATION

Address:
300 E CHANDLER BL

Type:
NEIGHBORHOOD

Size:
5.40 TOTAL ACRES

Year Constructed:
2009

Planning Area:
NORTH

DESCRIPTION:

Boys and Girls Club Park is a five-acre neighborhood park located adjacent to the Boys and Girls Club of the East Valley – Compadre Branch and Armstrong Park. The park was constructed in 2009 and is located in the City’s north planning area. Key park amenities include baseball fields, multi-use fields, and a basketball court.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASEBALL FIELD (LIGHTED)	1	3	Consider replacing existing fence with a fence with bottom bar and concrete header in the future to eliminate fence bowing and maintenance issues
BASKETBALL COURT (LIGHTED)	1	4	Not post-tension; dated light fixtures
BENCH	2	3	Average condition
BLEACHERS	2	3	Average condition
DOG BAG STATION	1	3	Considerable amount of animal droppings along paths; consider adding more stations
IRRIGATION SYSTEM (AC)	5.40	3	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	11	3	
MULTIUSE FIELD (LIGHTED)	1	3	Moderate condition
OPEN TURF AREA (AC)	0.3	2	Moderate condition; could use improvement and more definition to these multi-use areas; consider turf reduction in drainage areas between path and building
PARKING LOT (SPACES)	1	4	Shared with facility; good condition
PICNIC TABLE	1	3	Average condition
SIGNAGE (REGULATORY)	2	3	Average condition
TRAIL - NON PAVED (MI)	0.15	2	Consider paved access to replace existing from north side of park and on both sides of field to provide stronger connectivity
TRAIL - PAVED (MI)	1	3	Average condition
TRASH RECEPTACLE	8	3	Average condition



Overall Drainage

The park does not receive and offsite storm water runoff from the adjacent street frontage. The site self retains onsite drainage to the surrounding turf areas. Turf areas provide drainage for the onsite improvements including parking area and building. The drywells within turf area drawdown runoff.



Turf Areas

The northeast turf area has worn areas along the sidewalk and adjacent steep, sideslopes. The condition of slopes is due to lack of irrigation maintenance, not activity. Overall, the turf areas show compaction throughout and has worn areas in the middle. An aeration and soil agronomy test to evaluate soil condition and recommendations for amendments is suggested.



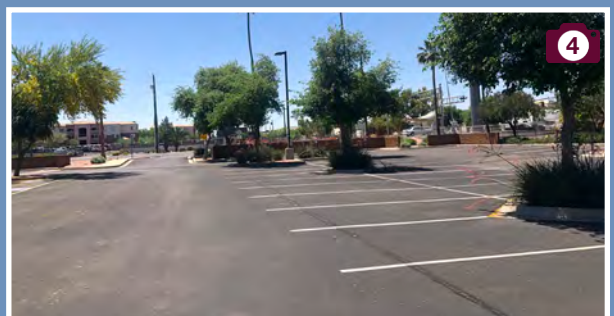
Baseball Field

The baseball field turf is in good condition in the outfield, while the infield has worn areas. The sports lighting is metal halide. The field was part of the Arizona Diamondbacks grant program and built to their specifications. It is recommended that removing the turf infield for skinned infield or converting to artificial turf would help with maintenance.

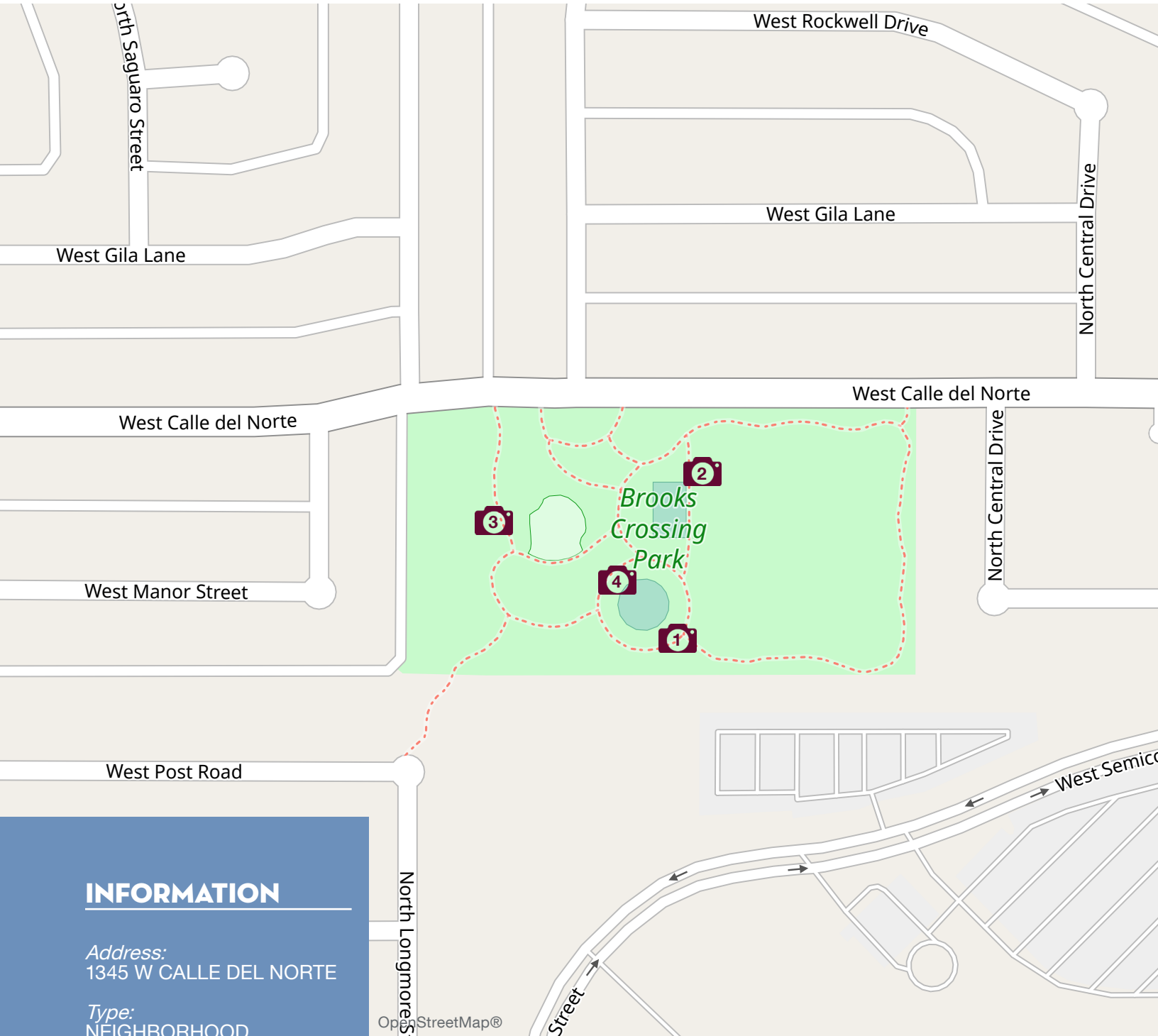


Parking Lot

The parking area for the Boys and Girls Club is in good condition and appears to have been crack sealed and seal coated within the last couple of years. Staff should continue to seal coat and crack seal the parking areas every two to three years to maintain the asphalt.



BROOKS CROSSING PARK



INFORMATION

Address:
1345 W CALLE DEL NORTE

Type:
NEIGHBORHOOD

Size:
8.15 TOTAL ACRES

Year Constructed:
1986

Planning Area:
NORTH

DESCRIPTION:

Brooks Crossing Park is an eight-acre neighborhood park. The park was constructed in 1986 and is located in the City's north planning area. The park serves the Brooks Crossing and Knoell East subdivisions. Key park amenities include basketball and volleyball courts, playgrounds, and open turf areas.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASKETBALL COURT (LIGHTED)	1	4	Great condition
BBQ PIT/ GRILL	3	3	Average condition; showing typical signs of use
BENCH	12	3	Average condition; showing typical signs of use
DOG BAG STATION	3	3	Average condition; some fading
DRINKING FOUNTAIN	1	3	Average condition; showing typical signs of use
IRRIGATION SYSTEM (AC)	8.16	3	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	22	3	High pressure sodium lighting
OPEN TURF AREA (AC)	4.9	2	Muddy conditions under mature shade trees; patchy, erosion on slopes and near playground; likely irrigation issues
PICNIC TABLE	5	3	Average condition; showing typical signs of use
PLAYGROUND (SHADED)	2	3	Moderate condition; mushrooms growing in playground wood chips due to lack of maintenance
SIGNAGE (PARK ENTRY)	1	3	Average condition; some fading
SIGNAGE (REGULATORY)	4	3	Average condition; some fading
TRAIL - PAVED (MI)	0.65	3	Average condition
TRASH RECEPTACLE	18	3	Average condition; showing typical signs of wear
VOLLEYBALL COURT (SAND)	1	3	Additional sand needed to level court; lighting is upd



Site Lighting

The park pathway lighting is high-pressure sodium, LED fixture replacement for the pathway lighting is recommended.



Courts

The sand volleyball court is in average condition and the concrete post-tension court is in great condition. LED fixture replacement for court lighting is recommended.



Turf Areas

The turf areas are in poor condition, some wear areas on the floor area and on sideslopes are visible. The worn condition of slopes is due to lack of irrigation maintenance, not activity. The turf areas appear pretty compacted throughout. An aeration and soil agronomy test are recommended to evaluate soil conditioning.

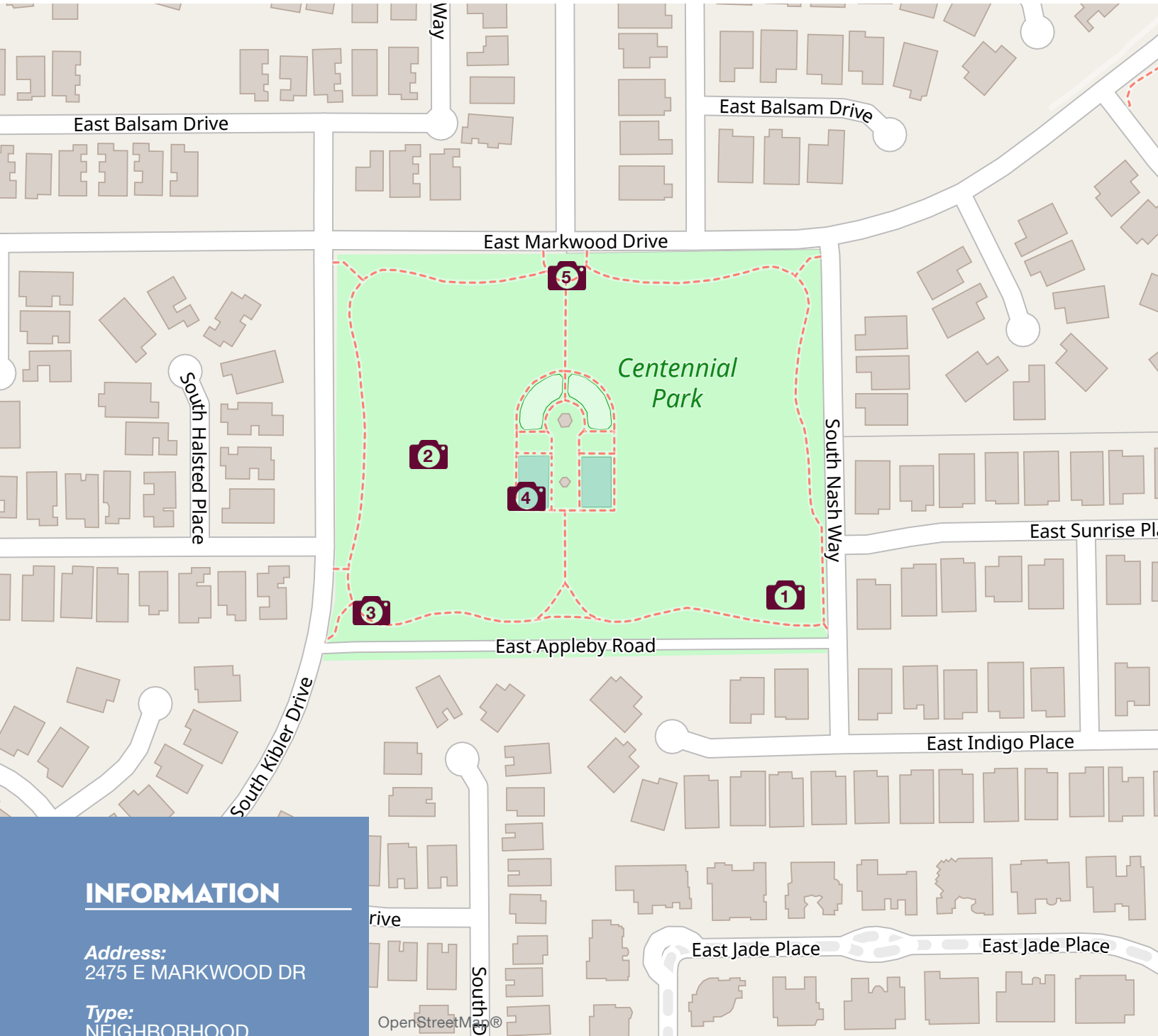


Sidewalk

The concrete sidewalk is in average condition. There are a few panels with cracking and vertical separation.



CENTENNIAL PARK



INFORMATION

Address:
2475 E MARKWOOD DR

Type:
NEIGHBORHOOD

Size:
10.88 TOTAL ACRES

Year Constructed:
2014

Planning Area:
SOUTHEAST

DESCRIPTION:

Centennial Park is a 10-acre neighborhood park. The park was constructed in 2014 and is located in the City's southeast planning area. The park serves the Markwood North and Belmont Estates subdivisions. Key park amenities include basketball and volleyball courts, shade ramadas, playgrounds, and open turf areas.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASKETBALL COURT (LIGHTED)	1	4	Newer condition; minor low spots/drainage
BBQ PIT/ GRILL	1	3	Good condition; signs of usage, consider deep clean
BENCH	14	2	Some newer benches have taken a beating, sun or vandalism
BIKE RACK/ LOOP	2	4	Minor wear; chipping
DOG BAG STATION	5	3	Signs of fading due to exposure
DRINKING FOUNTAIN	1	3	Signs of wear due to use; minor rust and water damage
IRRIGATION SYSTEM (AC)	10.88	4	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	48	4	Newer condition poles and LED fixtures
OPEN TURF AREA (AC)	8.1	3	Good condition; minor low spots and slope erosion
PICNIC TABLE	3	4	Good condition; minor signs of wear
PLAYGROUND (SHADED)	2	4	Newer structure; minor signs of use and fading
RAMADA	2	4	Mostly like new condition; some light column damage (caps missing/damaged)
SIGNAGE (PARK ENTRY)	2	4	No signs of fading or damage
SIGNAGE (REGULATORY)	4	3	Fading and wear due to exposure
TRAIL - PAVED (MI)	0.76	4	Good condition; minor cracking
TRASH RECEPTACLE	10	3	Signs of wear due to use
VOLLEYBALL COURT (SAND)	1	4	Good condition





Overall Drainage

The park has two large turf areas on the east and west sides of the park. The south east area provides retention storage for offsite storm water runoff from Nash Way. The east turf area provides on site retention in the southwest area.

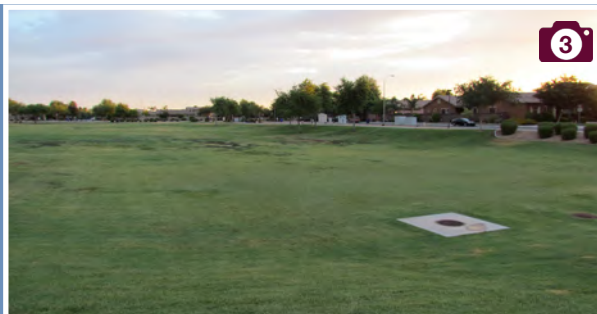


West Turf Area

The west turf area is in good condition. There are some worn areas throughout. An aeration and soil agronomy test to evaluate soil conditioning is recommended. The worn condition of slopes is due to lack of irrigation maintenance, not activity.

Turf Area at Playground and Court Area

The turf is in fair condition with several worn and dead zones. The ground is very compacted throughout. An aeration and soil agronomy test to evaluate soil conditioning is recommended.



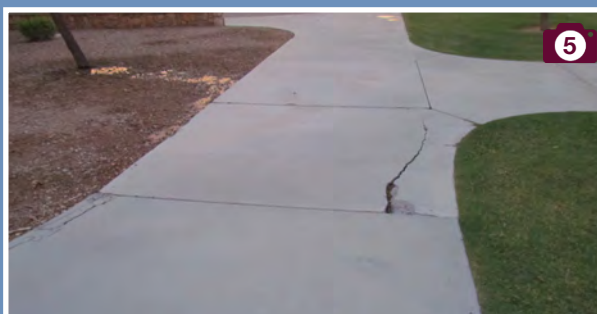
Basketball Court

The concrete post-tension court is in good condition and court lighting has LED fixtures.

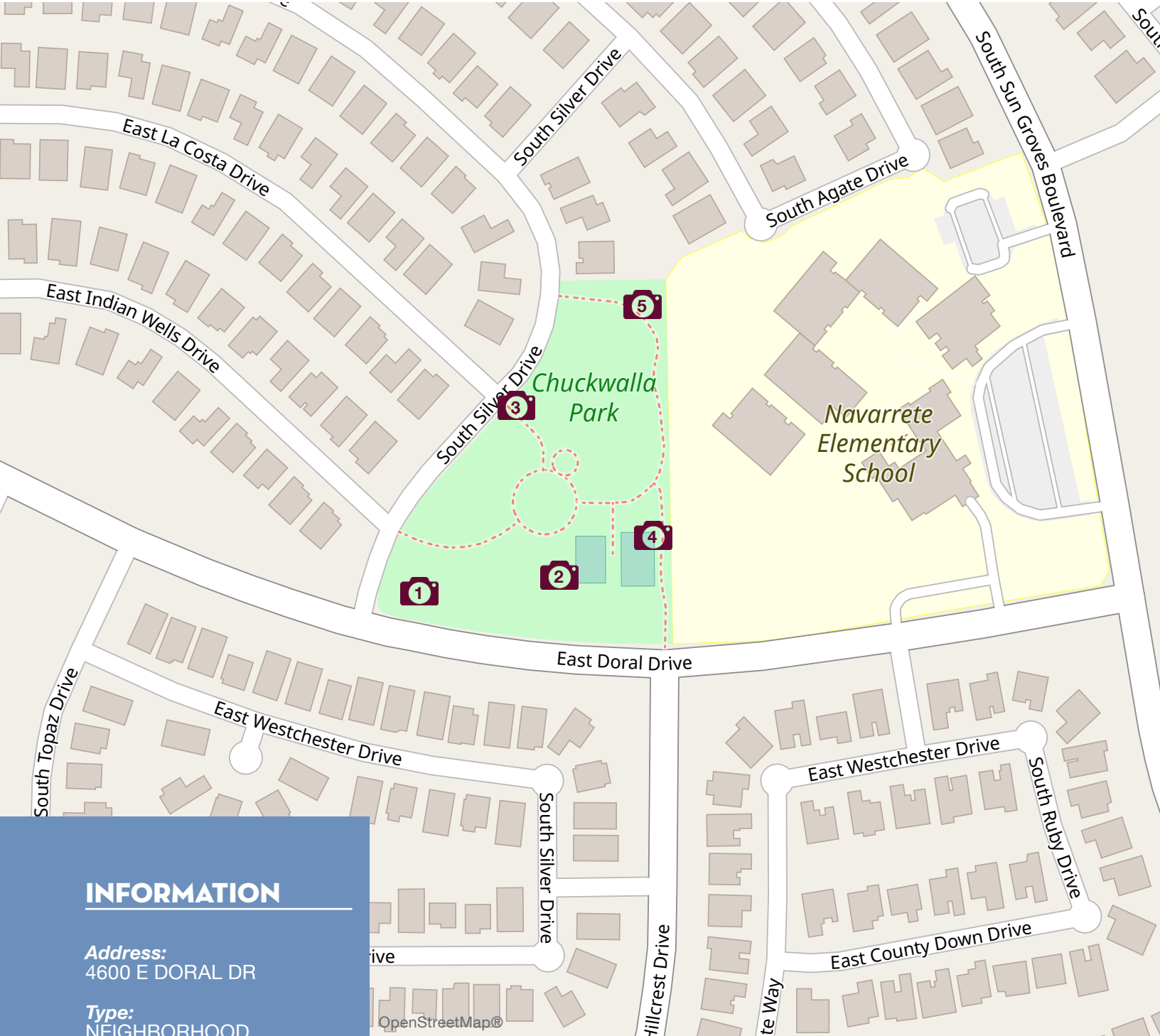


Sidewalk

The concrete sidewalk has some cracking throughout.



CHUCKWALLA PARK



INFORMATION

Address:
4600 E DORAL DR

Type:
NEIGHBORHOOD

Size:
4.46 TOTAL ACRES

Year Constructed:
2006

Planning Area:
SOUTHEAST

DESCRIPTION:

Chuckwalla Park is a four-acre neighborhood park. The park was constructed in 2006 and is located in the City's southeast planning area. The park serves the Sun Groves subdivision and sits adjacent to Navarre Elementary School. Key park amenities include basketball and volleyball courts, open turf areas, playgrounds and shade ramadas.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASKETBALL COURT (LIGHTED)	1	3	Low spots, standing water, and hoops showing signs of wear; surface in good condition
BBQ PIT/ GRILL	2	3	Signs of use; consider deep clean
BENCH	6	2	Rust, signs of weathering, wear, and chipped paint/coating
DOG BAG STATION	4	3	Signs of fading due to exposure
DRINKING FOUNTAIN	1	3	Signs of wear and use; no rust noted
IRRIGATION SYSTEM (AC)	4.46	3	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	20	4	Lights and poles in generally good condition, high pressure sodium fixtures
OPEN TURF AREA (AC)	3.2	1	Low spots, uneven turf growth, brown spots, minor erosion and poor irrigation maintenance
PICNIC TABLE	6	3	Signs of wear and fading; chipped paint/coating
PLAYGROUND (SHADED)	2	3	Newer structure and shade fabric; surfacing recently replaced; minor low spots
RAMADA	3	3	Signs of wear and fading; minor rust spots
SIGNAGE (PARK ENTRY)	1	2	Faded, weathered, and cracking
SIGNAGE (REGULATORY)	4	3	Faded due to exposure
TRAIL - PAVED (MI)	0.39	3	Good condition; minor signs of settling and cracking
TRASH RECEPTACLE	7	3	Signs of use and fading due to exposure
VOLLEYBALL COURT (SAND)	1	3	Average condition given use; minor water damage on poles





Turf Areas

The turf is in below-average condition with patch areas of some turf, dirt areas and overall worn areas throughout. The condition of slopes is due to lack of irrigation maintenance not activity. The turf areas show compaction throughout. An aeration and soil agronomy test to evaluate soil condition and recommendations for amendments is suggested. Additionally, the adjustment and repair of irrigation equipment to ensure proper coverage and functionality is encouraged.



Sand Volleyball Court

The Sand Volleyball is in average condition and the court has high-pressure sodium light fixtures. A LED fixture replacement for court lighting is recommended.

Sidewalk and Concrete Plaza Areas

The concrete sidewalk is in good condition, but there are some cracked panels throughout the pathways and plaza areas.



Basketball Court

The post-tension basketball court is in good condition with sawcut scoring throughout, relatively minor hairline cracking, and some surface wear. The light fixtures are high-pressure sodium. LED fixture replacement is recommended for court lighting.



Site Lighting

The high-pressure sodium site lighting fixtures and poles are in good condition. The replacement of fixtures with LED is not recommended until the current fixtures reach lifecycle age.



CHUPAROSA PARK



INFORMATION

Address:
2400 S DOBSON RD

Type:
COMMUNITY

Size:
29.38 TOTAL ACRES

Year Constructed:
2003

Planning Area:
SOUTHWEST

DESCRIPTION:

Chuparosa Park is a 29-acre community park. The park was constructed in 2003 and is located in the City's southwest planning area. Key park amenities include basketball and volleyball courts, multi-use fields, open turf areas, playground, restrooms, and shade ramadas.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASKETBALL COURT (LIGHTED)	2	3	Good condition; signs of wear, minor cracking and marks, and hoops showing age
BBQ PIT/ GRILL	3	3	General signs of wear due to use; consider deep clean
BENCH	8	2	Wear due to age, significant signs of rust, and chipped paint/coating
BIKE RACK/ LOOP	1	3	Average wear due to use and nicks/dings
DOG BAG STATION	3	3	Wear and faded due to age and exposure
DRINKING FOUNTAIN	2	3	No signs of rust or water damage
FLAG POLE	2	4	Good condition
IRRIGATION SYSTEM (AC)	29.38	3	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	78	3	Poles and highpressure sodium fixtures showing signs of weathering
MULTIUSE FIELD (LIGHTED)	2	2	Patchy turf, minor low spots, and patchy turf growth
OPEN TURF AREA (AC)	5.3	2	Significant patchy areas, uneven, and low spots, erosion
PARKING LOT (SPACES)	108	4	Great condition; recent resurface/stripping
PICNIC TABLE	11	3	Signs of wear with chipped paint/coating
PLAYGROUND (SHADED)	1	3	Newer structure and shade; wood fiber surfacing showing signs of settling
RAMADA	5	3	Average condition; general nicks/dings due to use and age; fading due to exposure
RESTROOM BUILDING	1	3	Average condition
SIGNAGE (PARK ENTRY)	1	3	Average condition; weathering due to exposure
SIGNAGE (REGULATORY)	3	3	Faded and worn due to exposure
SPRAY PAD	1	2	Surfacing is newer and equipment showing signs of wear and weathering
TRAIL - NON PAVED (MI)	0.42	3	Wear from use, low spots, surfacing displaced and in need of regrading/ additional DG
TRAIL - PAVED (MI)	1.56	3	Average condition; signs of age and minor cracking
TRASH RECEPTACLE	34	3	Signs of wear, chipped paint/coating, and minor rust
VOLLEYBALL COURT (SAND)	4	5	Newer court, recently renovated



Overall Drainage

The park has a series of retention basins along the Dobson Road frontage. These basins provide storage for offsite storm drainage runoff, as well as onsite storage. The west basin is a large turf area with perimeter decomposed granite. There is a storm drain connector pipe at the park entrance road.



Parking Area

The parking area is in great condition and was recently seal coated. Recommend some crack seal on some of the larger cracks within the pavement. There was construction underway during the time of this assessment.

Middle Turf Area

The turf area around the plaza/playground is in below-average condition. There are large worn areas. The condition of slopes is due to lack of irrigation maintenance not activity. An aeration and soil agronomy test are recommended to evaluate soil condition and amendments.



West Multi-Purpose Field

The turf area is in below-average condition with several worn areas from use. The condition of slopes is due to lack of irrigation maintenance not activity. Recommend that aeration and soil agronomy test be undertaken to evaluate soil condition and possible amendments.



Site Lighting

The pedestrian and parking area lights are high-pressure sodium fixtures. LED fixture replacement along pathways is recommended.



CHUPAROSA PARK

Park Entrance Roadway

The park entry drive is in great condition and was recently seal coated.



Sand Volleyball Court

This area was under construction at the time of this project assessment.



Sidewalk and concrete plaza areas

Concrete sidewalk is in average condition overall. There are some cracked panels throughout the pathways and plaza areas.

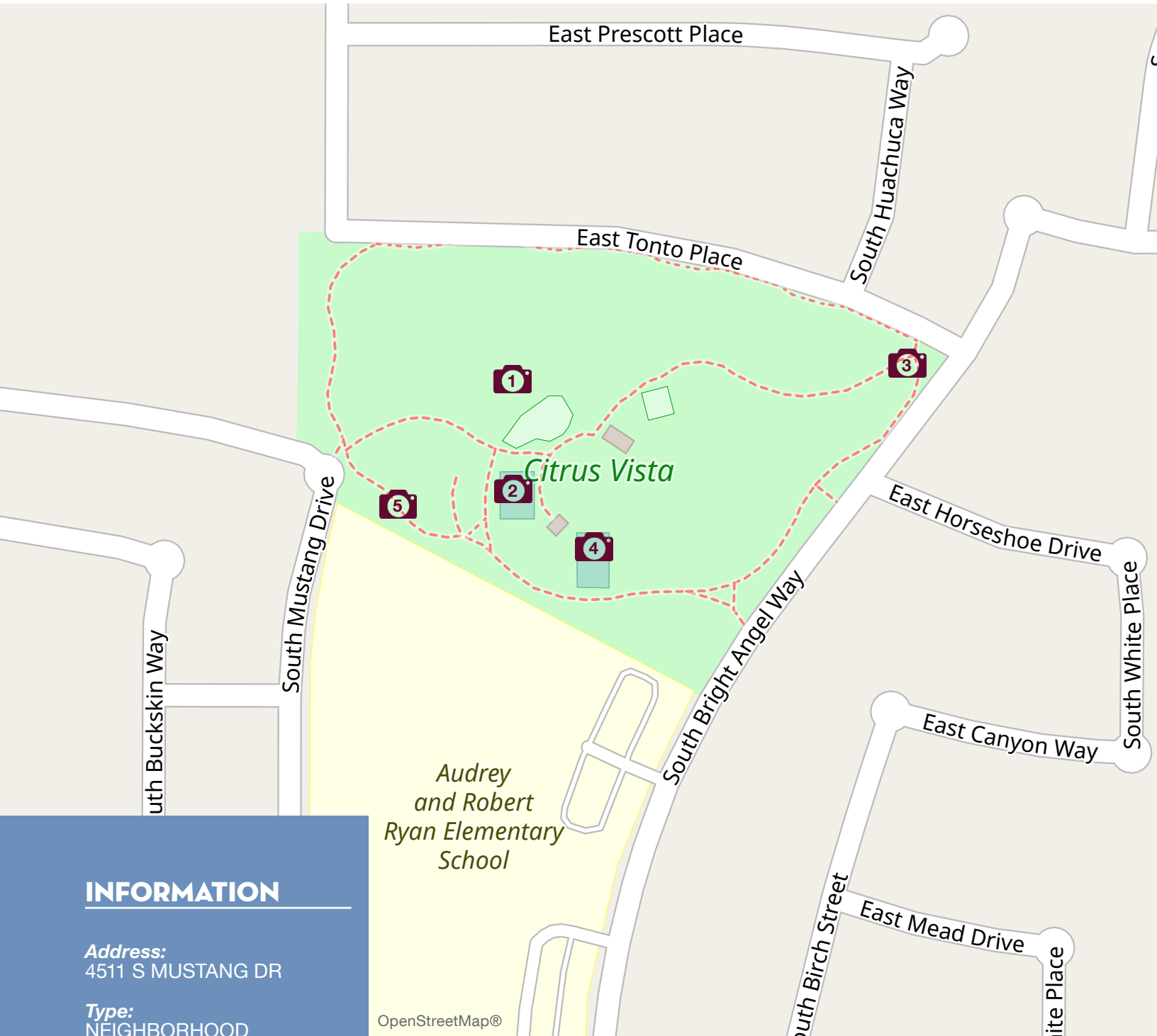


Basketball Court (East and West)

The concrete post-tension court is in good condition and the lighting is high-pressure sodium. LED fixture replacement for court lighting is recommended.



CITRUS VISTA PARK



INFORMATION

Address:
4511 S MUSTANG DR

Type:
NEIGHBORHOOD

Size:
11.20 TOTAL ACRES

Year Constructed:
2015

Planning Area:
SOUTHEAST

DESCRIPTION:

Citrus Vista Park is a 11-acre neighborhood park. The park was constructed in 2015 and is located in the City's southeast planning area. The park is adjacent to Ryan Elementary School and serves the Old Stone Ranch subdivision. Key park amenities include basketball and volleyball courts.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASKETBALL COURT (LIGHTED)	1	4	Good condition; hoops and poles like new
BBQ PIT/ GRILL	2	4	Good condition; signs of usage; consider deep clean
BENCH	16	4	Good condition; minor signs of use and exposure
BIKE RACK/ LOOP	2	4	Good condition; minor signs of wear
BOCCE BALL COURT	1	4	Good condition; surfacing displaced due to use
DOG BAG STATION	4	4	Good condition; minor signs of wear and fading due to exposure
DRINKING FOUNTAIN	2	3	Average condition; normal wear, minor water staining
HORSESHOE PIT	1	4	Good condition; surfacing displaced due to use
IRRIGATION SYSTEM (AC)	11.21	4	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	35	4	Good condition, high pressure sodium fixtures
OPEN TURF AREA (AC)	6.9	4	Minor low and brown spots; turf in good condition
PICNIC TABLE	6	3	Signs of wear and weathering due to use
PLAYGROUND (SHADED)	2	4	Surfacing in good condition; equipment and shade in good condition
RAMADA	2	4	Good condition; no major signs of damage or aging
SIGNAGE (PARK ENTRY)	1	4	Good condition; colors vibrant
SIGNAGE (REGULATORY)	2	4	Good condition; minor signs of fading due to exposure
TRAIL - NON PAVED (MI)	0.29	3	Low spots, grading, and surfacing displaced
TRAIL - PAVED (MI)	0.55	4	Minor cracking and settling
TRASH RECEPTACLE	11	4	Good condition; minor signs of wear
VOLLEYBALL COURT (SAND)	1	4	Good condition; minor signs of wear and aging





Turf Areas

The turf is in good condition with strong growth. An aeration and soil agronomy test to evaluate soil condition and recommendations for amendments is suggested.



Sand Volleyball Court

The sand volleyball is in good condition and has LED light fixtures.

Sidewalk and Concrete Plaza Areas

The concrete sidewalk is in good condition. There are some cracked panels throughout the pathways and plaza areas.



Basketball Court

The concrete basketball court is in new condition and the light fixtures are LED.

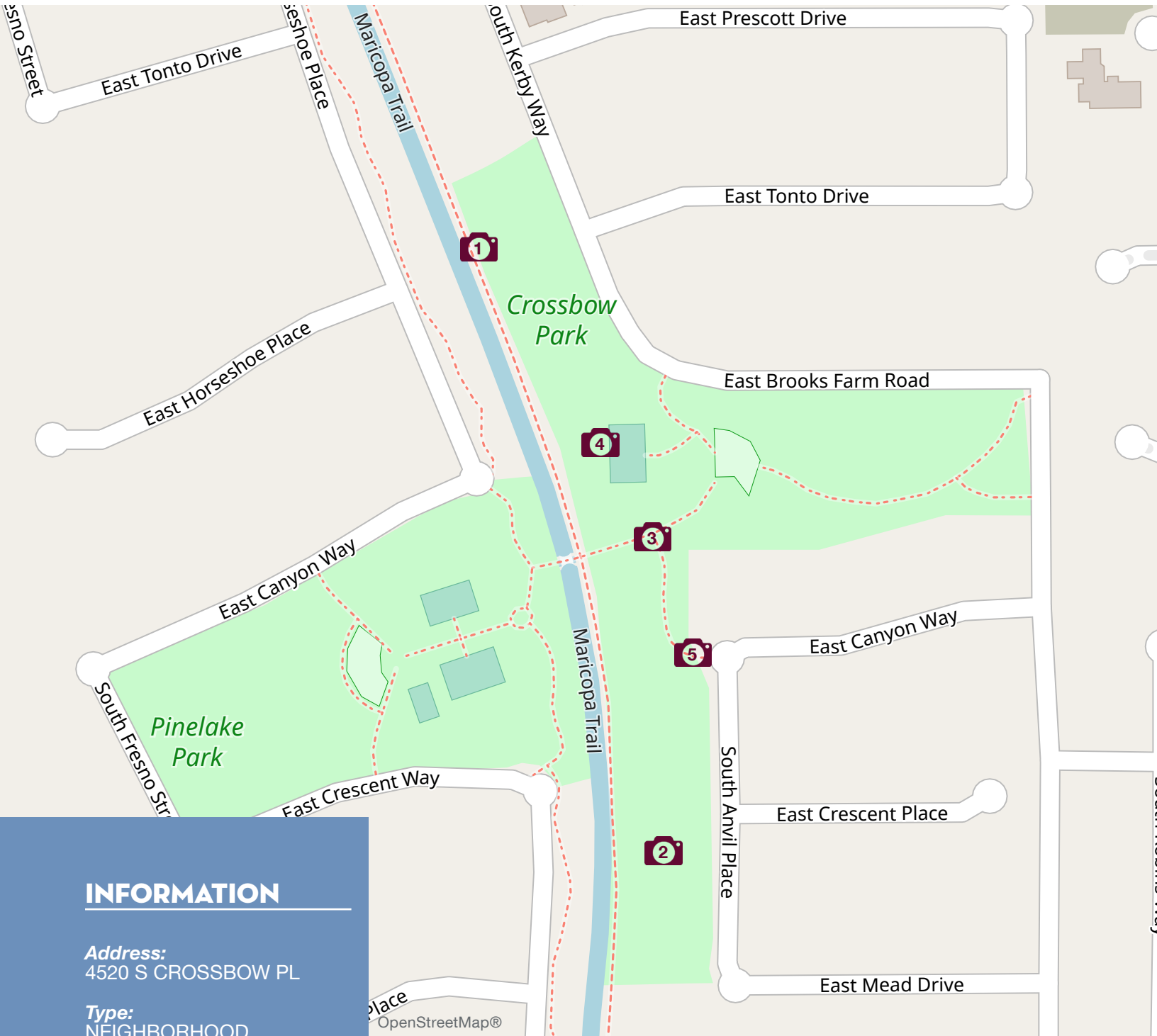


Site Lighting

The site lighting fixtures are high-pressure sodium. The fixtures and poles are in good condition. The replacement of fixtures with LED can wait until the current fixtures reach lifecycle age.



CROSSBOW PARK



INFORMATION

Address:
4520 S CROSSBOW PL

Type:
NEIGHBORHOOD

Size:
7.95 TOTAL ACRES

Year Constructed:
2008

Planning Area:
SOUTHEAST

DESCRIPTION:

Crossbow Park is a seven-acre neighborhood park. The park was constructed in 2008 and is located in the City's southeast planning area. The park serves the Kerby Estates subdivision and has a direct connection to Pinelake Park. Key park amenities include basketball court, open turf areas, playgrounds, and a shade ramada.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASKETBALL COURT (LIGHTED)	1	4	Good condition; no major signs of cracking; hoops and poles in newer condition
BBQ PIT/ GRILL	2	3	Signs of wear due to usage; consider deep clean
BENCH	12	3	Signs of use with minor chipping and fading
BIKE RACK/ LOOP	1	3	Minor dents and chipped coating; no visible rust
DOG BAG STATION	5	4	Good condition; minor fading and wear due to exposure
DRINKING FOUNTAIN	1	3	Minor signs of water and rust damage
IRRIGATION SYSTEM (AC)	7.95	3	Visual assessment only
LIGHTING (SITE, SPORTS, PED, ETC)	15	3	Poles and LED fixtures showing signs of age/ weathering
OPEN TURF AREA (AC)	4.7	2	Low spots, inconsistent turf, and bare spots
PICNIC TABLE	3	3	Signs of use, minor chipping, and fading
PLAYGROUND (NON-SHADED)	1	4	Surfacing in good condition; some signs of settling; newer structures and equipment
PLAYGROUND (SHADED)	1	4	Surfacing in good condition; some signs of settling; newer structures; equipment and shade fabric
RAMADA	1	4	Good condition; minor signs of fading and wear
SIGNAGE (PARK ENTRY)	2	3	Good condition; minor fading and chipping
SIGNAGE (REGULATORY)	5	3	Visible signs of fading due to exposure and age
TRAIL - PAVED (MI)	0.32	3	Signs of wear due to use and age, minor cracks, and settling
TRASH RECEPTACLE	13	3	Visible fading and wear due to exposure and use





North Turf Area

The north turf area is in below-average condition and there are several worn areas. The condition of slopes is due to lack of irrigation maintenance not activity. The area appears to be very compacted throughout. An aeration and soil agronomy test to evaluate soil conditioning is recommended.



South Turf Area

The south turf area is in below-average condition and there are several worn areas. The condition of slopes is due to lack of irrigation maintenance not activity. The area overall, appears to be very compacted throughout. An aeration and soil agronomy test to evaluate soil conditioning is recommended.

Sidewalk

The concrete sidewalk has some cracking throughout.



Basketball Court

The concrete post-tension court is in good condition and lighting has high-pressure sodium fixtures. LED fixture replacement for court lighting is recommended.

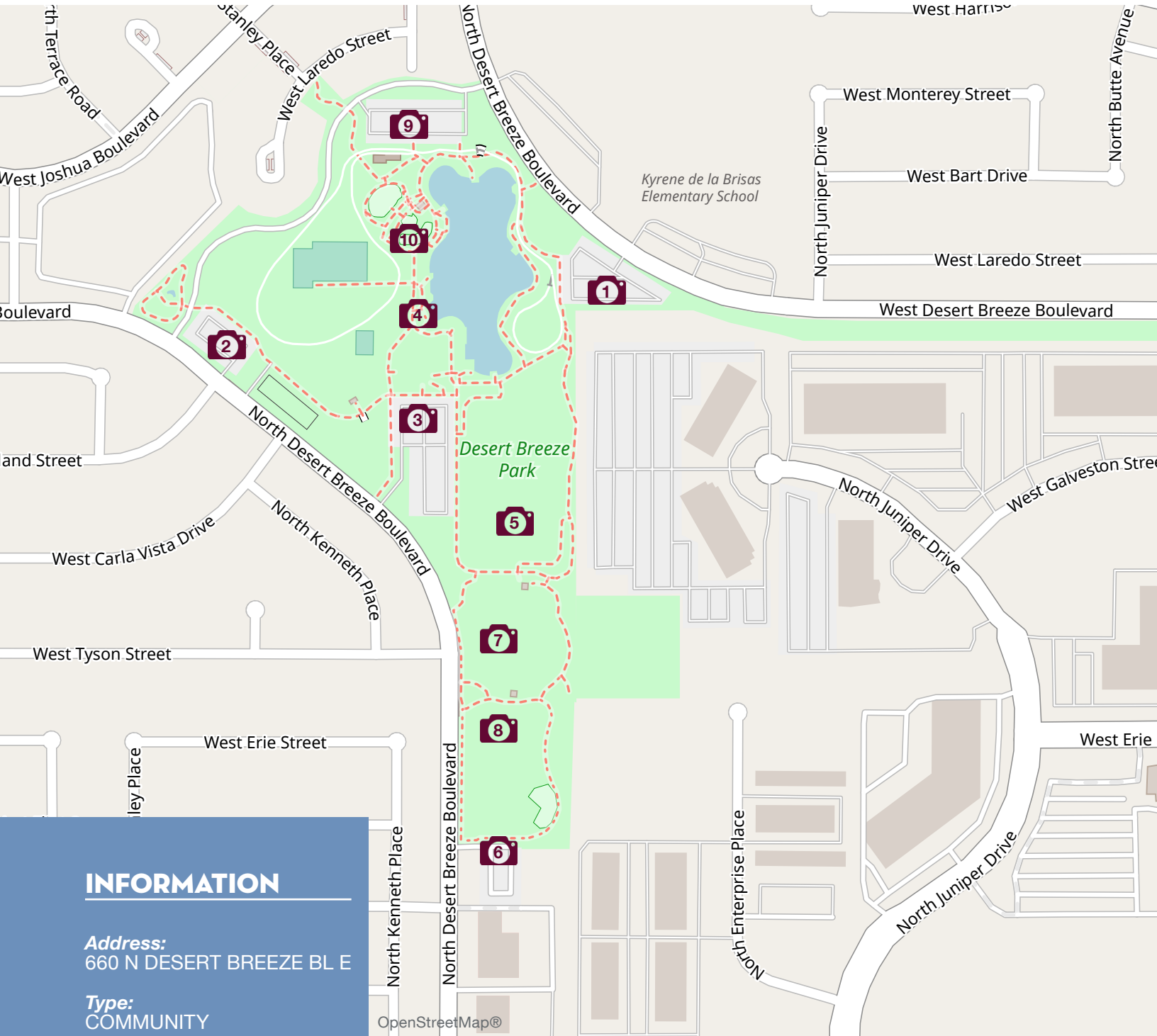


Site Lighting

The pedestrian pathways utilize LED lighting.



DESERT BREEZE PARK



INFORMATION

Address:
660 N DESERT BREEZE BL E

Type:
COMMUNITY

Size:
44.40 TOTAL ACRES
(2.5 ACRES UNDEVELOPED)

Year Constructed:
1991

Planning Area:
WEST

DESCRIPTION:

Desert Breeze Park is a 44-acre community park. The park constructed in 1991, is located in the City's west planning area and sits adjacent the police/fire department sub-station. Key park amenities include baseball and multi-use fields, volleyball courts, open turf areas, playgrounds, shade ramadas, restroom buildings, and tennis courts.



AMENITIES AND ASSESSMENT

Amenity	Qty	Grade	Notes
BASEBALL FIELD (LIGHTED)	2	3	Consider replacing backstops; field in good condition; ball field shade and seating is new, good condition
BBQ PIT/ GRILL	18	3	Consider deep cleaning grills, particularly in pavilion area
BENCH	58	3	Average condition; styles vary
BIKE RACK/ LOOP	3	3	Average condition
BLEACHERS	2	4	Seating area and shade at ball fields are in good condition
DOG BAG STATION	10	3	Average condition; some fading
DRINKING FOUNTAIN	4	3	Average condition; typical signs of wear
IRRIGATION SYSTEM (AC)	44.40	3	Visual assessment only
LAKE / POND	3.40	3	Consider additional areas to get closer to lake; various landscape areas around lake eroding
LIGHTING (SITE, SPORTS, PED, ETC)	168	3	Dated light fixtures
MAINTENANCE YARD/ BUILDING	1	3	Average; facility showing signs of age
MULTIUSE FIELD (LIGHTED)	1	3	Turf in average condition
OPEN TURF AREA (AC)	12.0	2	Turf in good to poor condition; large shade trees are creating patchy and muddy areas on open turf areas not associated with fields
PARKING LOT (SPACES)	423	3	Consider resealing parking lots; provide ADA improvements
PICNIC TABLE	89	3	Average condition; styles vary
PLAYGROUND (SHADED)	3	3	Provide ADA access to swings; add and grade wood chips for uniform surface; play equipment is showing signs of wear; replace pour in place surface, as it is worn and uneven
RAMADA	13	3	Hard top ramadas near lake are well maintained but are showing signs of aging; group pavilion is in moderate condition, could use updates to counters; consider installing bird deterrents and deep cleaning the area
RESTROOM BUILDING	2	2	Park restroom near group pavilion needs exterior upgrades, interior appears to have recently been improved
SHADE STRUCTURE (STAND-ALONE)	4	4	Fabric shade ramadas near lake appear new and are in good condition
SIGNAGE (PARK ENTRY)	4	3	Average condition; typical signs of wear/sun damage
SIGNAGE (REGULATORY)	12	3	Average condition; typical signs of wear/sun damage
SPRAY PAD	1	3	Surface in good condition; spray features showing signs of age/faded
TENNIS COURT (LIGHTED)	4	5	Looks to be in new condition; dated light fixtures
TRAIL - PAVED (MI)	2.39	3	Average condition
TRASH RECEPTACLE	155	3	Average condition
VOLLEYBALL COURT (SAND)	1	2	Needs to be regraded; needs additional sand



East Parking Area

The asphalt-concrete pavement cracks range from a 1/2" to 1" in width. A seal coat of all surface cracks every three years is recommended. The existing pavement and subbase can age another 10 years with recommended crack seal/seal coat due to positive drainage conveyance. The parking lot utilizes one driveway for ingress/egress.



West Parking Area

The asphalt-concrete pavement cracks range from 1/2" to 1" in width. A seal coat of all surface cracks every three years is recommended. The existing pavement and subbase can age another 10 years with recommended crack seal/seal coat due to positive drainage conveyance. The parking lot utilizes one driveway for ingress/egress.

Middle Parking Area

The parking lot sheet flows drainage to the adjacent decomposed granite retention basins to the west. Some erosion exposure at the drainage outlet points, but it is relatively minor. The southern half of this parking area is collectively the worst pavement observed among all the parking areas. Minimal slopes within this section of the parking area shows evidence of ponding within the lot, which has resulted in more visible AC pavement cracking.



Lake Slope

The interior lake slope from the sidewalk to lake edge show established slopes with minimal rilling and erosion. The only area of rilling and erosion for the lake area is the northwest cove as these bank slopes are the highest among the entire lake perimeter. A slope reduction or larger riprap treatment to maintain bank slope is recommended.



Multi-purpose/Baseball Field Areas

The turf area shows several wear areas and is in significantly poorer condition than the other turf areas throughout the park. The condition is due to lack of irrigation maintenance not activity. This area does not utilize flood irrigation. A sprinkler irrigation evaluation is recommended to determine if flood irrigation could be expanded to provide intermediate irrigation option. An aeration and soil agronomy test to evaluate soil conditioning is recommended.



DESERT BREEZE PARK

South Parking Area

The asphalt-concrete pavement cracks range from 1/2" to 1" in width. The parking lot appears to have been crack sealed and seal coated within the last two years. A seal coat of all surface cracks every three years is recommended. The existing pavement and subbase can age another 10 years with recommended crack seal/seal coat due to positive drainage conveyance.



Middle Open Turf Area

Turf area is in moderate condition. The two large turf areas both utilize flood irrigation, as well as conventional sprinklers. These turf areas are in significantly better condition than the multi-purpose turf area to the north. A turf reduction around ramada areas, which slope up due to the use of the flood irrigation, is recommended. Additionally, a header curb with decomposed granite is recommended as these areas have lack of irrigation coverage, and are worn dirt areas.



Southern Open Turf Area

The turf area is in good condition. The two large turf areas both utilize flood irrigation, as well as conventional sprinklers. These turf areas are in significantly better condition than the multi-purpose turf area to the north. A turf reduction is recommended around ramada areas, which slope up due to the use of the flood irrigation. Also recommended is a header curb at DG areas, as they have lack of irrigation coverage and are worn dirt areas.



North Parking Area

The north parking area is well drained. This parking area utilizes three localized drainage basins located along the frontage of the parking area. The North basin provides drainage storage from the northern parking area, as well as the half street from the parks maintenance road. None of the existing basins have drywells and it could not be determined if the basins drain within 36 hours of a storm event per the Maricopa County regulations during the site visit.



Sidewalk around Playground Area

A sidewalk panel replacement is recommended due to several cracked sidewalk panels around the playground area.



